



**REGULAR MEETING OF COUNCIL
Tuesday, November 29, 2022 @ 4:00 PM
Ucluelet Community Centre
500 Matterson Drive, Ucluelet**

AGENDA

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1. CALL TO ORDER	
1.1 ACKNOWLEDGEMENT OF THE YUULUᑭIᑭᑭATH Council would like to acknowledge the Yuuluᑭiᑭᑭath, on whose traditional territories the District of Ucluelet operates.	
1.2 NOTICE OF VIDEO RECORDING Audience members and delegates are advised that this proceeding is being video recorded and broadcast on YouTube and Zoom, which may store data on foreign servers.	
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3. APPROVAL OF THE AGENDA	
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9. NOTICE OF MOTION

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11. INFORMATION ITEMS

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12. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS

- 12.1 Councillor Shawn Anderson
12.2 Councillor Jennifer Hoar
Deputy Mayor November 1 - December 31, 2022
12.3 Councillor Ian Kennington
12.4 Councillor Mark Maftai
12.5 Mayor Marilyn McEwen

13. QUESTION PERIOD

14. CLOSED SESSION

- 14.1 Procedural Motion to Move In-Camera
THAT the meeting be closed to the public in order to address agenda items under Section 90(1)(n) of the Community Charter.

15. ADJOURNMENT

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE
Tuesday, November 1, 2022 at 4:00 PM

Present: **Chair:** Mayor McEwen
 Council: Councillors Anderson, Hoar, Kennington, and Maftai
 Staff: Duane Lawrence, Chief Administrative Officer
 Bruce Greig, Director of Community Planning
 Abby Fortune, Director of Parks and Recreation
 Joseph Rotenberg, Manager of Corporate Services
 Samantha McCullough, Executive Assistant

Regrets:

1. CALL TO ORDER

Duane Lawrence

District of Ucluelet Corporate Officer and Chief Administrative Officer

1.1 Duane Lawrence, District of Ucluelet Corporate Officer, called the meeting to order at 4:02 PM on November 1, 2022.

2. PRAYER

Samantha Touchie

Yuuluʔitʔath Government, Executive Assistant – Culture, Language and Heritage

2.1 Samantha Touchie, of the Yuuluʔitʔath Government, provided an opening prayer.

3. OATHS OF OFFICE

3.1 Mayor Marilyn McEwen

Marilyn McEwen swore the Mayor Oath of Office. Mayor McEwen was presented with the Chain of Office.

3.2 Councillor Jennifer Hoar

Jennifer Hoar swore the Councillor Oath of Office.

3.3 Councillor Shawn Anderson

Shawn Anderson swore the Councillor Oath of Office.

3.4 Councillor Ian Kennington

Ian Kennington swore the Councillor Oath of Office.

3.5 Councillor Mark Maftei

Mark Maftei swore the Councillor Oath of Office.

4. APPROVAL OF AGENDA

motion to approve the agenda as presented.

4.1 November 1, 2022, Inaugural Council Agenda

2022.2197.REGULAR *It was moved and seconded **THAT** the November 1, 2022, Inaugural Council Meeting Agenda be approved as presented.*

CARRIED.

5. ACKNOWLEDGEMENT OF FIRST NATIONS TERRITORY

The Mayor acknowledge the Yuułuʔiłʔatḥ, on whose traditional territory the District of Ucluelet operates.

6. MAYOR'S ADDRESS

The Mayor thanked Council, Council member life partners, Staff, and the Yuułuʔiłʔatḥ Government. The Mayor gave thanks, described several recent local events, and addressed the importance of the spirit of collaboration.

7. WELCOME OF NEW MAYOR & COUNCIL

President Charles McCarthy
Yuułuʔiłʔatḥ Government

7.1 **President McCarthy addressed Council and noted the important relationship between Ucluelet and the Yuułuʔiłʔatḥ as well as ongoing cooperation between the District and the Yuułuʔiłʔatḥ Government.**

8. REPORTS

8.1 **Council Appointments & Signing Authorities**
Joseph Rotenberg, Manager of Corporate Services

Mr. Rotenberg outlined this report.

2022.2198.REGULAR *It was moved and seconded **THAT** Council appoint Mayor Marilyn McEwen to the Alberni-Clayoquot Regional District Board of Directors and Councillor Mark Maftei as the Alternate Director for a period from November 1, 2022, to December 31, 2023.*

CARRIED.

2022.2199.REGULAR *It was moved and seconded **THAT** Council appoint Councillor Jennifer Hoar as Trustee to the Vancouver Island Library Board and Councillor Shawn Anderson as the Alternate Trustee.*

CARRIED.

2022.2200.REGULAR *It was moved and seconded **THAT** Council rescind former Mayor Mayco Noël's appointment as authorized signatory for the District of Ucluelet and appoint Mayor Marilyn McEwen, Councillor Jennifer Hoar, Chief Administrative Officer Duane Lawrence, and Chief Financial Officer Donna Monteith as the District of Ucluelet's authorized signatories.*

CARRIED.

**8.2 Council Schedule Review & Acting Mayor Schedule
Joseph Rotenberg, Manager of Corporate Services**

Mr. Rotenberg outlined this report.

2022.2201.REGULAR *It was moved and seconded **THAT** Council confirm the 2022 Council Meeting Schedule as attached as Appendix A to this Report.*

CARRIED.

2022.2202.REGULAR *It was moved and seconded **THAT** Council appoint Councillor Jennifer Hoar as Acting Mayor for the period November 1, 2022, to December 31, 2022.*

CARRIED.

9. INFORMATION ITEMS

9.1 Barkley Community Forest - Public Open House

10. ADJOURNMENT

The meeting was adjourned at 4:41 PM.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Tuesday, November 1, 2022 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

Duane Lawrence, Corporate Officer

Marilyn McEwen, Mayor

DISTRICT OF UCLUELET
MINUTES OF THE REGULAR COUNCIL MEETING
HELD IN THE UCLUELET COMMUNITY CENTRE, 500 MATTERSON DRIVE
Tuesday, November 15, 2022 at 4:00 PM

Present: **Chair:** Mayor McEwen
 Council: Councillors Anderson and Hoar
 Staff: Duane Lawrence, Chief Administrative Officer
 Donna Monteith, Chief Financial Officer
 Bruce Greig, Director of Community Planning
 Abby Fortune, Director of Parks and Recreation
 Joseph Rotenberg, Manager of Corporate Services
 Monica Whitney-Brown, Planning Assistant
 Samantha McCullough, Executive Assistant

Regrets: Councillors Kennington and Maftei

1. CALL TO ORDER

The meeting was called to order at 4:01 PM on November 15, 2022.

1.1 ACKNOWLEDGEMENT OF THE YUULU?IŁ?ATH

Council acknowledged the Yuulu?ił?ath, on whose traditional territories the District of Ucluelet operates.

1.2 NOTICE OF VIDEO RECORDING

Audience members and delegates were advised that the proceeding was video recorded and broadcasted on YouTube and Zoom, which may store data on foreign servers.

2. LATE ITEMS

There were no late items.

3. APPROVAL OF THE AGENDA

3.1 November 15, 2022, Regular Council Meeting Agenda

2022.2203.REGULAR *It was moved and seconded **THAT** agenda Item 5. "Unfinished Business" be replaced with "Public Input".*

CARRIED.

2022.2204.REGULAR *It was moved and seconded **THAT** the November 15, 2022 council meeting agenda be approved as amended.*

CARRIED.

4. ADOPTION OF MINUTES

4.1 October 6, 2022, Regular Minutes

The word "site" was misspelled on page seven of the minutes.

2022.2205.REGULAR *It was moved and seconded **THAT** the October 6, 2022 Regular Minutes be adopted as amended.*

CARRIED.

5. Public Input

Randy Oliwa, 1150 Rupert Road, President of Pac Rim Home Cooperative. He outlined the Cooperative's mandate, their proposal, and upcoming important dates including November 30th membership drive wrap-up and December 7 Annual General Meeting.

6. BYLAWS

6.1 Cemetery Bylaw No. 1206 Amendment *Abby Fortune, Director of Parks and Recreation*

Ms. Fortune presented this report. Ms. Fortune fielded Council questions about impacts on cemetery maintenance.

2022.2206.REGULAR *It was moved and seconded **THAT** Council direct staff to present amendments to District of Ucluelet Cemetery Management Bylaw No. 1206, 2016 to allow non-conforming grave site installations in the lower section of the cemetery.*

CARRIED.

6.2 Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004 *Abby Fortune, Director of Parks and Recreation*

Ms. Fortune presented this report. Ms. Fortune fielded Council about the bear resistant waste disposal carts.

Council noted concerns related to the outdoor storage of carts and the recommended anchoring system which residents are responsible for implementing.

2022.2207.REGULAR *It was moved and seconded **THAT** Council direct staff to present an amendment to the District of Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004, to be considered at a future Council meeting, which allows for Bear Resistant Collection Carts to be stored outside provided that the container is anchored to prevent tipping or being dragged away by an adult bear.*

CARRIED.

6.3 Zoning Amendment For 327 Pass Of Melfort *Monica Whitney-Brown, Planning Assistant*

Bruce Greig, Director of Community Planning, presented this report. He noted a typo in Draft Bylaw 1320, 2022 which should be addressed.

Mr. Parker, the Applicant, addressed Council regarding the reasons for FAR expansion.

- 2022.2208.REGULAR *It was moved and seconded **THAT** Council, with regard to the proposed development at 327 Pass of Melfort Place:*
1. *Replace text amendment 1. A in draft District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022, with the following:*
 - “A. Removing Lot 20 from section R-4.3.2 (1) so that this section reads as follows:*
 - (1) 0.35 for lands legally described as Strata Lots 2, 4-9, 13-15, 18, 22, 24 and 25, all of Section 1, Barclay District, Strata Plan VIS5896.”*
- CARRIED.
- 2022.2209.REGULAR *2. It was moved and seconded **THAT** Council give first and second reading to District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022 as amended.*
- CARRIED.
- 2022.2210.REGULAR *3. It was moved and seconded **THAT** Council direct staff to give notice for a public hearing to be held on District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022.*
- CARRIED.

6.4 Zoning Amendment Bylaw No. 1309 – 604 Rainforest Drive Bruce Greig, Director of Community Planning

Mr. Greig presented this report.

- 2022.2211.REGULAR *It was moved and seconded **THAT** Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1309, 2022 and authorize the Director of Community Planning to execute and issue Development Permit 22-04.*
- CARRIED.

6.5 Zoning Amendment and Development Permit For 1683 Larch Road John Towgood, Municipal Planner

Bruce Greig, Director of Community Planning, presented this report. Mr. Greig fielded Council questions related to garbage, fire truck access, and the construction of a zero overhang building.

The Applicant was invited to speak but was not in attendance at the meeting.

- 2022.2212.REGULAR *It was moved and seconded **THAT** Council, with regard to the proposed development at 1683 Larch Road:*

1. Give first and second reading to District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022; and,
2. Direct staff to give notice for a public hearing to be held on District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022 and Development Variance Permit 22-07.

CARRIED.

7. REPORTS

7.1 Business License for Mobile Vendor at 1708 Peninsula Road *Monica Whitney-Brown, Planning Assistant*

Ms. Whitney-Brown represented this report. She addressed Council questions related to the number of businesses permitted to operate on site. Bruce Greig, Director of Community Planning addressed questions about access to garbage disposal facilities.

The Applicant was not available to speak.

2022.2213.REGULAR *It was moved and seconded **THAT** Council approve the issuance of a mobile vending business license for Nuglife Food Truck to be operated at 1708 Peninsula Road, Lot 1, Plan VIP5190, Clayoquot District, subject to the conditions in Appendix A, attached to staff report No. 22-152.*

CARRIED.

7.2 Environmental Development Permit For 384 Marine Drive *Monica Whitney-Brown, Planning Assistant*

This report was presented by Ms. Whitney-Brown. The Applicant and property owners' Agent, Doug Cole of 16802 3rd Ave. La Conner, Washington, USA, addressed questions related to the location of the retaining wall vis a vis the riparian zone, the location of the proposed home and history of the property.

2022.2214.REGULAR *It was moved and seconded **THAT** Council authorize the Director of Community Planning to execute and issue Development Permit DP22-12 for the property at 384 Marine Drive to allow subdivision and construction of a single-family dwelling on a lot within a Marine Shoreline and Riparian Development permit area.*

CARRIED.

7.3 BC Active Transportation Grant Funding Request *Donna Monteith, Chief Financial Officer*

Ms. Monteith presented this report. Council noted their support for the project.

2022.2215.REGULAR *It was moved and seconded:*

- **THAT** Council approve the BC Active Transportation Infrastructure grant application for the 2023 Larch Road Multi Use Path project, by contributing a maximum of \$198,750; and
- **THAT** Council shall provide overall grant management.

CARRIED.

8. NOTICE OF MOTION

There were no notices of motion.

9. CORRESPONDENCE

9.1 The Moorage Street Parking Signage and Enforcement *Christine Brice, Strata Manager | Ardent Properties INC.*

Council discussed this correspondence item and request for increased yellow curbing.

2022.2216.REGULAR *It was moved and seconded THAT Staff provide a report about options for Ardent Properties.*

CARRIED.

9.2 District of Ucluelet - Request to Present on Social Issues & Solutions in Your Community and United Way British Columbia Local Impact *Michael McKnight, President & CEO, United Way British Columbia | Lower Mainland*

2022.2217.REGULAR *It was moved and seconded THAT Council direct Staff to invite the United Way British Columbia to become a delegation a future council meeting.*

CARRIED.

9.3 Adoption Awareness Month *Honourable Mitzi Dean MCFD*

9.4 Aquaculture Update from DFO - Net Pen Transition Plan Engagement Session- November 25, 2022 *AVICC*

Mayor McEwen, Councillor Hoar, and Councillor Anderson intend to attend this meeting.

10. INFORMATION ITEMS

10.1 2022 Election Report *Joseph Rotenberg, Chief Elections Officer*

10.2 New Online Course to Support Responsible Conduct *Nathan Cullen, Minister of Municipal Affairs Jen Ford, President, UBCM*

Corrie Griffiths, President, LGMA

11. MAYOR'S ANNOUNCEMENTS AND COUNCIL COMMITTEE REPORTS

11.1 Councillor Shawn Anderson

11.2 Councillor Jennifer Hoar

Deputy Mayor, November 1 - December 31, 2022

November 11 - attended Remembrance Day service in Victoria

11.3 Councillor Ian Kennington

11.4 Councillor Mark Maffei

11.5 Mayor Marilyn McEwen

Mayor McEwen noted upcoming events including:

- November 25 - Midnight Madness
- November 26 - Christmas Market
- November 27 - Tedd Eeftink's Celebration of Life

Mayor McEwen attended the following meetings:

- November 8 - met with MLA Osborne to discuss how the MLA's office can support the District of Ucluelet.
- November 9 - Barkley Community Forest Meeting
- November 9 - ACRD Inaugural Board Meeting
- November 11 - Remembrance Day Ceremony
- November 14 - Met with the RCMP to discuss the skillset of a new Sergeant to be hired

12. QUESTION PERIOD

There were no questions.

13. ADJOURNMENT

The meeting was adjourned at 5:15 PM on November 15, 2022.

CERTIFIED CORRECT: Minutes of the Regular Council Meeting held on Tuesday, November 15, 2022 at 4:00 pm in the Ucluelet Community Centre 500 Matterson Road, Ucluelet, BC.

Duane Lawrence, Corporate Officer

Marilyn McEwen, Mayor



DISTRICT OF UCLUELET

Request to Appear as a Delegation

All delegations requesting permission to appear before Council are required to submit a written request or complete this form and submit all information or documentation by 12:00 p.m. five clear days before a Council Meeting. Applicants should include the topic of discussion and outline the action they wish Council to undertake.

All correspondence submitted to the District of Ucluelet in response to this notice will form part of the public record and will be published in a meeting agenda. Delegations shall limit their presentation to ten minutes, except by prior arrangement or resolution of Council.

Please arrive 10 minutes early and be prepared for the Council meeting. The Mayor (or Acting Mayor) is the chairperson and all comments are to be directed to the chairperson. It is important to address the chairperson as Your Worship or Mayor Noël.

The District Office will advise you of which Council meeting you will be scheduled for if you cannot be accommodated on your requested date. For more information contact the District Office at 250-726-7744 or email info@ucluelet.ca.

Requested Council Meeting Date: November 29th, 2022

Organization Name: WildSafeBC Pacific Rim

Name of person(s) to make presentation: Bob Hansen / Marianne Paquette

Topic: Season-end Report 2022 - Challenges, successes and roadr

Purpose of Presentation:

Information only

Requesting a letter of support

Other (provide details below)

Please describe:

There are two delegations, one at the season start and again at the end as part of the commitment to report back and engage with the Mayor and Council. The District is an essential program partner and funder. Numbers and types of human-bear conflicts will be reported showing the co-existence challenges facing the community. Positive progress on many fronts will be described along with a roadmap for the future followed by a funding request.

Contact person (if different from above): Bob Hansen

Telephone Number and Email: [REDACTED]

Will you be providing supporting documentation? Yes No

If yes, what are you providing? Handout(s)
 PowerPoint Presentation

Note: Any presentations requiring a computer and projector/screen must be provided prior to your appearance date. The District cannot accommodate personal laptops.

The personal information you provide on this form is collected under s. 26(c) of the FOIPPA and will be used for the purpose of processing your application to appear as a delegation before the District of Ucluelet Council. The application will form part of the meeting's agenda and will be published on the website. Your personal telephone number and e-mail address will not be released except in accordance with the Freedom of Information and Protection of Privacy Act. Questions about the collection of your personal information may be referred to the Manager of Corporate Services 200 Main Street, PO Box 999, Ucluelet BC, V0R 3A0 or by telephone at 250-726-7744.



THANK YOU TO OUR 2022 SPONSORS

WE NOW NEED SUPPORT FOR OUR 2023 SEASON

Wildlife Activity 2022 West Coast Region



WildSafeBC Pacific Rim Activities (April-November 2022)

8 Food-conditioned bears
Lethally euthanized

35 Shed/Structures
accessed by bears

8 Outdoor freezers
accessed by bears

4 Restaurant grease bins
accessed by bears

35 Vehicles accessed
by bears

21 Unsecured commercial
bins accessed by bears

8 Chicken coops
accessed by bears

6 WildSafe Ranger presentations:
12 classes, 190 students & teachers

18 Wildlife Awareness & Safety
presentations given to 247 participants

5 Door-to-door activities
Delivered information to 370 residences

8 Display Booths
over 1,050 people reached

41 Facebook posts created
10% increase in page followers

5 WildSafeBC Pledge Businesses
9 more are working towards it

2 BARE Campsite Campgrounds
Staff training provided in 2022

14 Electric fences installed
+ 9 detailed consultations for future projects



Bob Hansen and Marianne Paquette, WildSafeBC Pacific Rim Fall Season-end



REPORT TO COUNCIL

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: ABBY FORTUNE, DIRECTOR OF PARKS AND RECREATION **FILE NO:** 3900-25

SUBJECT: **CEMETERY MANAGEMENT AMENDMENT BYLAW NO. 1323** **REPORT NO:** 22- 160

ATTACHMENT(S): APPENDIX A - DISTRICT OF UCLUELET CEMETERY MANAGEMENT AMENDMENT BYLAW 1323, 2022
APPENDIX B - DISTRICT OF UCLUELET CEMETERY MANAGEMENT BYLAW 1206, 2016

RECOMMENDATION(S):

THAT Council give first, second and third reading to the District of Ucluelet Cemetery Management Amendment Bylaw No. 1323, 2022.

BACKGROUND:

Staff received a request for the installation of a raised memorial within the lower cemetery that would match an existing memorial. The current bylaw prohibits the installation of raised memorials throughout the cemetery to allow for easier maintenance of the site. In consideration of the request staff presented a report to Council to consider amending the cemetery management bylaw to allow for raised memorials on burial sites in the lower cemetery that had existing raised memorials.

Council directed Staff at the November 15, 2022, regular meeting to prepare an amendment with respect to allowing raised memorials on burial sites adjacent to existing burial sites with raised memorials.

ANALYSIS OF OPTIONS:

The proposed amendments to the Cemetery Management Bylaw would allow for the installation of raised memorials within newly defined 'family lots' provided a raised memorial is in place prior to December 1, 2022. A family lot would include existing, purchased lots, that are adjacent to one another and designated for immediate family members.

A	Give first three readings to Bylaw 1323	<u>Pros</u>	<ul style="list-style-type: none"> • Allows for families with multiple lots that have raised memorials, to match those memorials for future interments. • Limits new raised memorials to only those lots that have existing raised memorials in an adjacent lot.
		<u>Cons</u>	<ul style="list-style-type: none"> • Community members with lots in the lower cemetery without raised memorials may question why they can not also have a raised memorial.

		<u>Implications</u>	<ul style="list-style-type: none"> Slight increase in maintenance time needed to edge around raised memorials.
B	Direct staff to further amend the Bylaw	<u>Pros</u>	<ul style="list-style-type: none"> Ensures the bylaw meets the intent and desire of Council.
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time.
		<u>Implications</u>	<ul style="list-style-type: none"> Any proposed amendments should be considered in relation to the entire bylaw to ensure additional unintended consequences are not created.
		<u>Suggested Motion</u>	<p>THAT Council direct staff to include the following additional amendments to the Cemetery Management bylaw and bring an updated Cemetery Management Amendment Bylaw back for Council's consideration:</p> <p>a. _____;</p> <p>b. _____; and,</p> <p>c. _____.</p>
C	Do not proceed with the amendments.	<u>Pros</u>	<ul style="list-style-type: none"> Maintains the Bylaw in its current form. Maintains the number of raised memorials to the current number.
		<u>Cons</u>	<ul style="list-style-type: none"> Would not permit the installation of matching memorials. Some families may be upset with the decision.
		<u>Implications</u>	<ul style="list-style-type: none"> There would be no staffing or financial implications.
		<u>Suggested Motion</u>	No motion is required.

NEXT STEPS:

- Staff would bring the adoption report back to Council for final consideration.

Respectfully submitted: **Abby Fortune, Director of Parks and Recreation**
Duane Lawrence, CAO

DISTRICT OF UCLUELET

Bylaw No. 1323, 2022

A bylaw to amend District of Ucluelet Cemetery Management Bylaw No. 1206, 2016

WHEREAS Council has the authority under the Local Government Act and Cremation, Internment and Funeral Services Act to provide for the regulation, operation, and maintenance of the Municipal Cemetery;

NOW THEREFORE the Council of the District of Ucluelet, in open meeting assembled, enacts as follows:

Citation

1. This bylaw may be known and cited for all purposes as the "District of Ucluelet Cemetery Management Amendment Bylaw No. 1323, 2022".

Amendments

2. The "District of Ucluelet Cemetery Management Bylaw No. 1206, 2016" shall be amended by:

- a. inserting under Section 2: Definitions

Family Lots means two or more adjacent interment sites owned by a Family Member.

- b. amending Section 36:

From: Ground Interment Memorials, including those for cremation Lots, shall be installed flush with the ground.

To: Ground Interment Memorials, including those for cremation Lots, shall be installed flush with the ground, *excluding Family Lots within the lower cemetery that have existing raised Memorials as of December 1, 2022.*

READ A FIRST TIME this ** day of ***, 2022.

READ A SECOND TIME this ** day of ***, 2022.

READ A THIRD TIME this ** day of ***, 2022.

ADOPTED this ** day of ***, 20**.

CERTIFIED CORRECT; "District of Ucluelet Cemetery Management Amendment Bylaw No. 1323, 2022".

Marylin McEwen
Mayor

Duane Lawrence
Corporate Officer

THE CORPORATE SEAL of the
District of Ucluelet was hereto affixed
in the presence of:

Duane Lawrence
Corporate Officer

DISTRICT OF UCLUELET**BYLAW No. 1206, 2016****A Bylaw to provide for the regulation, operation, and maintenance of the Municipal Cemetery**

The Council of the District of Ucluelet, in open meeting assembled, enacts as follows;

TITLE

1. This Bylaw may be cited for all purposes as the “District of Ucluelet Cemetery Management Bylaw No. 1206, 2016”.

DEFINITIONS

2. Unless context otherwise requires, terms defined in this bylaw and the “*Cremation, Interment, and Funeral Services Act*” shall have the meanings ascribed to them unless expressly defined otherwise herein:

Administration Fee means fees levied to cover additional administrative costs associated with the transfer or surrender of a Right of Interment.

Administrative Authority means the Business Practices and Consumer Protection Authority established under the *Business Practices and Consumer Protection Authority Act*.

Administrator means the Chief Administrative Officer of the District, or duly appointed designate.

Applicant means an individual who has applied to the District for a Right of Interment.

Care Fund means an irrevocable trust fund established, held and administered in accordance with CIFSA for the purpose of financing the future maintenance and care of a cemetery once all lots are occupied or reserved.

Caretaker means the person duly authorized by the Administrator to perform Interments and to care for and maintain the Cemetery.

Cemetery means any parcel or tract of land, together with any incidental or ancillary buildings, which are set aside, used, maintained, or operated as a cemetery by the District of Ucluelet.

Cemetery Policy means any written guidelines and procedures for office and field operations established by the Administrator and utilized for management of the Cemetery.

CIFSA means the *Cremation, Interment and Funeral Services Act*, SBC 2004, C35 administered by the Administrative Authority, as may be amended or superseded from time to time and all regulations made thereunder.

Control of Disposition means the person or agency as defined in Section 5 of the CIFSA who has the authority to control the disposition of the Human Remains or Cremated Remains.

Council means the Council of the District of Ucluelet.

Cremation, Interment and Funeral Services Act means the *Cremation, Interment, and Funeral Services Act*, SBC 2004, C35, as amended from time to time.

Cremated Remains means the human bone fragments that remain after cremation that may also include the residue or any other materials cremated with the Human Remains.

Cremation Vault means a receptacle made of durable materials placed in a ground cremation Lot to encase an urn, or urns, holding cremated remains. A Cremation Vault has a lid and is placed during the Interment process.

Disinterment means the removal of Human Remains along with the casket or container, or any remaining portion of the casket or container holding the Human Remains, from the Lot in which the Human Remains had been interred.

Exhumation means the exposure of interred Human Remains for viewing or for examination, whether in or removed from the Lot in which the Human Remains had been interred.

Family Member means a parent or step-parent, a grandparent or step-grandparent, a sibling (natural, adopted or step), a Spouse, a child (natural, adopted or step) or a grandchild (natural, adopted or step).

Fees means the schedule of fees as prescribed in the District of Ucluelet Fees and Charges Bylaw No. 1186, 2016, as amended from time to time.

Funeral Provider means an individual licensed, under the CIFSA, to arrange, conduct or direct funerals or the transfer or disposition of the Human Remains, or to arrange burials.

Grave Liner means a receptacle made of durable material placed around the casket to provide reinforcement to the Lot. A Grave Liner may, or may not, have a bottom and is placed during the burial process.

Holiday means any of the following days, namely New Year's Day, Family Day, Good Friday, Easter Monday, Victoria Day, Canada Day, BC Day, Labour Day, Thanksgiving

Day, Remembrance Day, Christmas Day, Boxing Day, and any day or part of a day proclaimed a civic holiday.

Human Remains means a dead human body in any stage of decomposition, but does not include Cremated Remains.

Interment means the disposition by burial of Human Remains or human Cremated Remains in a Lot.

Interment Right Holder means a person who holds a Right of Interment.

Interment Authorization means a document completed at time of need that may include statistical, executor and next of kin information that authorizes Interment of the deceased by the person with Control of Disposition.

Lot means a space used, or intended to be used in the Cemetery, for the Interment of Human Remains or Cremated Remains under a Right of Interment and includes a grave or plot.

Medical Health Officer means the person duly appointed from time to time by the Council as the Medical Health Officer for the District.

Memorial means a structure installed at the Cemetery to identify and commemorate a deceased person that may, or may not, be interred at the Cemetery. This includes, but is not limited to, markers, tablets, pillows and plaques.

Right of Interment means a certificate that provides for the future right to inter Human Remains or Cremated Remains in a designated Lot.

Spouse as defined in CIFSA, means a person who is:

- a) married to another person;
- b) has lived with another person in a marriage-like relationship for a period of at least 2 years immediately before the other person's death.

"Urn" means any receptacle, temporary or permanent, used for the encasement of Cremated Remains.

The use of words signifying the masculine shall include the feminine.

APPLICATION OF BYLAW

3. Subject to any contrary provision in the CIFSA, this Bylaw applies to the Cemetery operated by the District and to all additional real and personal property, within or without the District of Ucluelet, which may be acquired and held by the District for use as a District Cemetery at a future time, and shall be observed for Interment of the human deceased, and for their management, operation and preservation and the terms, conditions and fees set out shall apply to every Right of Interment within the

Cemetery. The administration of the Cemetery shall be carried out in conformity with the Administrative Authority and CIFSA.

4. The following described real property is set aside, held, laid out, developed, improved, used, and maintained as the District owned Cemetery and is dedicated for that use, and shall continue to be used, operated, and maintained for that purpose and shall not be used for any other purpose:

District of Ucluelet Cemetery

PID: 006-826-261, Lot 1541, Clayoquot District

5. Council shall have power to determine, from time to time, the size and layout of the Lots, the developments and improvements to be carried out and made in and to the Cemetery, subject to compliance with the requirements of CIFSA.

ADMINISTRATION OF BYLAW

6. The Administrator is responsible for the general administration of the Bylaw and will:
 - a. maintain all records and information for the administration, operation, maintenance and management of the Cemetery as is required by the Administrative Authority under the CIFSA;
 - b. issue all Rights of Interment and permits required and authorized by this Bylaw, except as otherwise provided in this Bylaw; and
 - c. establish Cemetery Policy, subject to this Bylaw and Council direction.

RIGHT OF INTERMENT

7. The District may, subject to payment of Fees, grant to any person a Right of Interment for a vacant, unreserved Lot. A Right of Interment does not vest in the holder any title or interest in the land or Lot but instead provides for the right to inter the person named on the Right of Interment Certificate.
8. The issuance of a Right of Interment does not entitle the holder to require the District to inter the Human Remains or Cremated Remains of the designated person in the Lot unless the holder complies in all respects with the provisions of the Bylaw, including, without limitation, the payment of all Fees related to the Interment.
9. A Right of Interment for any unused Lots may be transferred to a Family Member at the discretion of the Administrator. The Interment Right Holder or executor must supply this request in writing and the original Interment right must be surrendered to the District. Fees, payable to the District, associated with an Interment right transfer, may include:
 - a. an Administration Fee;
 - b. the difference between Fees paid originally and current Fees if there has been a change in residency status; and

- c. the difference between Fees paid originally and current fees if there have been changes in fee rates.
10. An Interment Right Holder shall either reserve the right to use that Lot for themselves or authorize another person to be interred in the Lot to which the Interment Right refers. An Interment Right Holder may only designate one Lot for their own use.
11. A Right of Interment may be surrendered to the District at the discretion of the Administrator. A refund, equal to the purchase price less the Care Fund contribution, will be issued to the Interment Right Holder provided:
- a. there are no Interments in the designated Lot;
 - b. the Interment Right Holder or his executor provides written notice to the District for intent to surrender the right;
 - c. the original license or Right of interment is surrendered;
 - d. an Administration Fee is paid; and
 - e. any Fee associated with the removal of any Memorial that is on, or embracing the surrendered Lot, is paid.
12. Upon approval of the Administrative Authority, a Right of Interment may be reclaimed by the District if:
- a. the Interment Right Holder would be at least 90 years of age;
 - b. a minimum period of 50 years has elapsed from the date the prior right of interment was sold;
 - c. a minimum 90 days has passed since a notice of intent to reclaim has been sent to the last known address of the Interment Right Holder;
 - d. the District has made diligent attempts to contact the Interment Right Holder but is not able to locate them.

RIGHT OF REFUSAL

13. The Council reserves the right to refuse to sell the use of more than two grave spaces to any one individual.

INTERMENTS

14. An interment shall be made within the Cemetery once the person with Control Disposition has completed and duly signed an Interment Authorization and paid all applicable Fees.
15. Only Human Remains, or Cremated Remains of a human body, shall be interred and memorialized in the Cemetery.
16. Interments:
- a. shall only be performed within the Cemetery by the Caretaker
 - b. shall only be conducted in predefined Lots approved by the Administrative Authority and;

- c. shall be conducted with all reasonable care and attention.
17. The District and its Caretaker are not responsible for damage to any casket, Urn or other container, sustained during an Interment or disinterment, except where such damage is caused by gross negligence of the District and its Caretaker.
18. Application for an Interment Authorization shall be made at least seventy-four (74) hours before the Interment is to take place. The Administrator may schedule the Interment in a shorter time frame subject to full compliance with all other applicable provisions of this Bylaw.
19. In the event of an interment not being exercised after a License Contract is completed and the date of interment has passed, the Contract and the License of the reserved lot space will be considered null and void, and no refund will be issued to the Purchaser.
20. The bodies of person who have died having any infectious disease shall be interred as directed by the Medical Health Officer.
21. The following apply to all in-ground Interments:
- a. A Grave Liner is required for each in-ground burial Interment.
 - b. A Cremation Liner is required for each in-ground cremation Interment.
 - c. All Cremated Remains must be interred in a sealed container constructed of permanent, durable material approved by the Administrator.
 - d. The Administrator may allow for the interment of up to four (4) Cremated Remains on any full-size Lot provided there is no objection to the Interment of Cremated Remains by Family Members, as defined in the CIFSA.
 - e. No casket burial is permitted in a full-size Lot after Cremated Remains have been interred in that Lot.
 - f. Each cremation Lot may hold up to two (2) Cremated Remains.
 - g. The Administrator must supply permission for the purchase of any Grave Liner from a source other than the District, with permission based on the item's size, design, material and construction. The installation of Grave Liners will be subject to a handling Fee and must be paid in full prior to installation. The Administrator may request that Grave Liners be installed by their supplier, under the supervision of the Caretaker, with the installation being at the Applicant's expense.
 - h. Any charges incurred by the Cemetery above and beyond the standard scope of services, in the handling of Grave Liners not supplied by the District will be charged to the Applicant and paid prior to Interment.
22. Interments shall be performed within the following hours, or at other times approved by the Administrator:
- a. In-ground casket burial – 9:00 a.m. and 3:30 p.m., Monday to Friday.
 - b. Interment of Cremated Remains – 8:30 a.m. and 3:30 p.m., Monday to Friday.

- c. The Administrator may schedule Saturday, Sunday or Statutory Holiday Interments subject to the payment of additional Fees and availability of the Caretaker.
- d. The person with Control of Disposition shall be responsible for any late arrival Fees if the Human Remains or Cremated Remains are delivered to the Cemetery outside of the above prescribed times.

23. Families may request permission to witness the Interment process at the Cemetery subject to the following criteria:

- a. A request to witness the Interment must be communicated to the Administrator when confirming Interment date and time.
- b. The District will not be held liable for any injury to a member of the public while attending or witnessing an Interment process.
- c. All proceedings at the Interment site shall be under the sole direction of the Caretaker.

EXHUMATIONS AND DISINTERMENTS

24. Pursuant to Section 16 of the CIFSA a Cemetery must not exhume or disinter Human Remains or Cremated Remains until:

- a. the Administrator receives a written request to do so from the person who has the control of Disposition of the remains;
- b. approval of the Exhumation by the Administrative Authority is received by the Administrator;
- c. the Administrator gives written notice to, and receives permission from, a Medical Health Officer for the area of the health region in which the Cemetery is located when the Human Remains are those of a person who, at the time of death, was known to have had an infectious or contagious disease or other disease dangerous to public health; and
- d. payment of the prescribed Fee is received, or acceptable payment arrangements have been made with the Administrator.

25. The District shall exercise all due care and attention in making an Exhumation or Disinterment but is not responsible for damage to any casket, Urn or other container sustained during Exhumation or Disinterment.

26. The District's responsibility with respect to Exhumation or Disinterment is limited to:

- a. excavation of sufficient quantities of soil to permit access to the Human or Cremated Remains;
- b. and closure of the Lot.

27. In accordance with Section 18 of the CIFSA, a Funeral Provider is required for the handling of any Human Remains in the existing Lot or any transfer of the remains to the new Lot or location. The Funeral Provider shall be employed at the expense of the Interment Right Holder or their successors.

MEMORIALS

28. Memorials will only be installed, removed or modified in the Cemetery when:
- a. an Interment Right Holder or authorized representative, or a person authorized by the Administrator, has made application to the Administrator;
 - b. the applicable contribution is paid to the Care Fund as required in the CIFSA; and
 - c. all outstanding fees relating to the Lot, Interment and Memorial installation have been paid in full.
29. All Memorials shall only be placed, installed or removed by the Caretaker or other person authorized by the Administrator. All Memorials shall conform to the approved plan of the cemetery and its sections, and shall be constructed of granite or bronze or other material(s) of a permanent nature as approved by the Administrator.
30. Installation of Memorials shall occur during regular business hours. Installations will be made as soon as possible after delivery of the Memorial to the District and timelines may vary depending on scheduling issues, weather conditions and ground conditions.
31. The District shall not be held liable for, or be obliged to repair, any breakage or damage to any Memorial in the Cemetery, except as shall arise as the result of the gross negligence of the Caretaker.
32. The Interment Right Holder, or the deceased's descendants, is required to keep in proper repair, at their expense and to the satisfaction of the District, all Memorials upon their Lot. Should any Memorial or Lot adornment erected in the Cemetery fall into a state of disrepair, then the Administrator will document the condition and have the Memorial or Lot adornment repaired or removed from the Cemetery, in each case at the expense of the Lot Holder or their successors. Interment Right Holders may request that the District make repairs. All costs associated with the repairs will be borne by the Interment Right Holder.
33. No ground Lot shall be defined by a fence, railing, coping, hedge, or by any other marking except as permitted in the Memorial provisions of this Bylaw.
34. Where it is necessary to remove any Memorial to permit or enable an interment, the cost of such removal shall be borne by the Lot Holder or their successors in respect to such interment.
35. The Lot Holder or their successors shall be responsible for the cost of any damage to any Memorial resulting from ground settlement, vandalism or any causes beyond the control of the District.

Ground Interment Memorials

36. Ground Interment Memorials, including those for cremation Lots, shall be installed flush with the ground.
37. A Memorial permit shall be issued by the Administrator to authorize installation of all ground interment Memorials not supplied by the District.
38. The Administrator may refuse to issue a permit to the applicant if the Applicant has failed to comply with the requirements of this Bylaw. The Administrator may reject Memorials, despite the prior issuance of a Memorial Permit, when the Memorial does not comply with the specifications in this Bylaw, is not in keeping with the standards of the Cemetery, or contains epitaphs deemed inappropriate by the Administrator.
39. The finished dimensions of a granite Memorial or a bronze Memorial attached to a concrete base shall be in accordance with the Memorial Permit.

Cremation Memorials

40. Cremation Memorials apply to any bronze plaque for use on a Memorial book but do not include Memorials for in-ground cremation Interment.
41. Bronze plaques for Cremation Memorials shall be supplied and installed by the District.
42. Where incorrect inscription instructions, dimension, specifications or locations are given on the Memorial installation application and signed by the Interment Right Holder, their successors, or the cremation Memorial supplier, then the cremation Memorial shall be removed and reinstalled at the expense of the Interment Right Holder or their successors.

GENERAL PROVISIONS AND REGULATIONS

43. Every person, including those in funeral processions, when entering and while within a Cemetery, shall obey the instructions of the Caretaker. Any person not behaving with proper decorum within the Cemetery or who disturbs the peace, quiet and good order of the Cemetery may be evicted by the Caretaker, and in addition, shall be guilty of an infraction of this Bylaw.
44. No person shall discharge any firearm within the Cemetery, except at Military Funerals where the discharge of firearms is permitted only in regular volleys, under the command of the officer in charge, and only during the conduct of the burial service.
45. Cemetery roadways are for the exclusive use of Interment processions, Cemetery patrons, or others as approved by the Administrator. Vehicles shall not exceed ten

(10) kilometers per hour. All operators of vehicles shall, at all times, obey the directions and orders of the Caretaker.

46. Animals shall not be permitted in the Cemetery at any time, except that dogs may be permitted in the Cemetery provided the dog is kept on a leash of a maximum length of three (3) meters.
47. No person owning or having custody, care or control of a dog shall allow the dog to deposit excrement within the Cemetery unless that person immediately removes the excrement and disposes of it in a sanitary manner.
48. Cut and artificial flowers, wreaths and floral tokens (tributes) may be placed on Lots in the Cemetery, but may be removed by the Caretaker and disposed of, when their condition is considered to be detrimental to the appearance or beauty of the Cemetery. Plant material and grave adornments associated with seasonal events or celebrations will be removed 30 days after the event by the Caretaker.
49. No person, other than the Caretaker, shall plant, remove, cut down or destroy any tree, shrub, plant, flower, bulb or decorative feature within a Cemetery.
50. No person, other than the Administrator, shall solicit orders for goods or services within the Cemetery.
51. No person shall destroy, damage, or deface any Lot, Memorial, fence, vegetation, gate or any structure in the Cemetery or injure or destroy any Cemetery improvements.
52. No person shall deposit any rubbish or offensive material within the Cemetery.
53. No person shall play at any game or sport within the Cemetery.

PENALTIES

54. Every person who violates any of the provisions of this bylaw will be liable on summary conviction to a fine and penalty not exceeding two thousand Dollars (\$2,000.00) and costs, or in default of payment thereof, or in the alternative to imprisonment for a period not exceeding six (6) months.
55. Notwithstanding anything herein contained, the administration and operation of the cemetery shall be carried out at all times in accordance with the *Cremation, Interment, and Funeral Services Act*, SBC 2004 C35, as amended, from time to time.

CARE FUND

56. A Care Fund for the future maintenance and care of the Cemetery and the Lots therein is hereby established, set aside and maintained. All monies in the Care Fund

will be held and invested as trust funds by the District and in accordance with the requirements of the CIFSA.

57. The Care Fund will be maintained with the District's bankers in an account to be designated as the "Care Fund." The Administrator and the Chief Financial Officer of the District will be responsible for all deposits to such account and for ensuring that:
- a. the account at all times complies with the provisions of the CIFSA;
 - b. any investment of any monies in the Care Fund is permitted under the CIFSA, the *Local Government Act*, the *Community Charter* and this Bylaw; and
 - c. any interest earned on the investments of the Care Fund may be used for the maintenance and care of the Cemetery in the year in which the interest and income is earned, or may be retained in the Care Fund to increase the principal sum.
58. The Administrator may, on behalf of the District, accept voluntary payments to the Care Fund from any person or organization.
59. The principal sum of the Care Fund will not be reduced other than in accordance with an order from the Administrative Authority pursuant to the CIFSA.

ADMINISTRATIVE PROVISIONS

60. This bylaw hereby repeals the District of Ucluelet Cemetery Bylaw No. 604, 1993, Ucluelet Cemetery Amendment Bylaw No. 666, 1995 in their entirety.

READ A FIRST TIME this 9th day of August, 2016.

READ A SECOND TIME this 9th day of August, 2016.

READ A THIRD TIME this 9th day of August, 2016.

ADOPTED this 13th day of September, 2016.

CERTIFIED A TRUE AND CORRECT COPY of "District of Ucluelet Cemetery Management Bylaw No. 1206, 2016.



Mayor
Dianne St. Jacques



CAO
Andrew Yeates

THE CORPORATE SEAL of the District of Ucluelet was hereto affixed in the presence of:



CAO
Andrew Yeates



REPORT TO COUNCIL

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

FILE NO: 0390-01

SUBJECT: 2023 COUNCIL CONFERENCE ATTENDANCE

REPORT NO: 22- 162

ATTACHMENT(S): N/A

RECOMMENDATION(S):

1. **THAT** Council direct staff to include \$43,800 in the 2023 Council budget for council conferences.
2. **THAT** Council authorize:
 - a. [name], [____], and [____], to attend the Local Government Leadership Academy Elected Official Seminars; and,
 - b. all Council members to attend the Association of Vancouver Island and Coastal Communities, and the Union of BC Municipalities 2023 annual conventions.

BACKGROUND:

The District of Ucluelet has been represented by Council members regularly at the following conferences hosted in British Columbia:

- [Local Government Leadership Academy - Elected Official Seminars \(LGLA\)](#);
- [Association of Vancouver Island and Coastal Communities Annual Convention \(AVICC\)](#);
- [Union of BC Municipalities Annual Convention \(UBCM\)](#); and
- [Annual Vancouver Island Economic Summit \(VIEA\)](#).

Council members have also attended the [Federation of Canadian Municipalities Annual Conference](#) from time to time.

Local Government Leadership Academy - Elected Official Seminars (LGLA)

The Local Government Leadership Academy's mandate is to improve local governance by providing elected officials and senior administrators with leadership development opportunities.

After a local election, LGLA holds Elected Official Seminars (EOS). An EOS is scheduled to occur in Nanaimo from February 15 – February 17.

Union of BC Municipalities Annual Convention (UBCM)

UBCM provides a common voice for BC's local governments.

The 2023 UBCM Convention is scheduled to occur in Vancouver from September 18 – 22. Conference delegates attend workshops, clinics, tours, study sessions, a variety of receptions and banquets, and participate in the UBCM resolution process. UBCM also is an unparalleled opportunity to network with local

government staff and elected officials. This conference is also an opportunity for Council to meet with Provincial Ministers, Staff, and representatives from Crown Corporations.

Association of Vancouver Island and Coastal Communities Annual Convention (AVICC)

AVICC is an area association made up of elected officials from Haida Gwaii, the Central Coast, the Sunshine Coast, and Vancouver Island, which falls under UBCM's umbrella. AVICC is one of five area associations in BC which strive to advocate for the interests of their member governments.

AVICC's Annual Conference is scheduled to occur in Nanaimo from April 14 – 16. Conference delegates participate in workshops, tours, plenary sessions and vote on resolutions. There is typically a keynote address from the Premier and a banquet. This is also an opportunity for elected officials to network with their peers.

Annual Vancouver Island Economic Summit (VIEA)

VIEA's mandate is to spearhead regional economic development for Vancouver Island and the Gulf Island region.

The Vancouver Island Economic Summit is scheduled to occur in Nanaimo on October 25th and 26th. The Summit provides a venue for businesses and stakeholders to understand the state of the Island's economy. Summit delegates network, attend discussion sessions on emerging local economic issues, and listen to high profile speakers.

Federation of Canadian Municipalities (FCM)

FCM's mandate is to act as the national voice for Canada's local governments.

FCM's annual conference is scheduled to occur in Toronto from May 25 – 28. Like UBCM's Annual Convention delegates attend workshops, study tours, banquets, and listen to keynote speakers. FCM is an opportunity for District representatives to network with local government elected officials from all over Canada.

Costs

Staff are seeking direction regarding the number of Council members that will represent the District at the conferences hosted in British Columbia and whether the District will be represented at FCM. This information will be used to budget. Council conference attendance is generally tax dollar funded. The following chart outlines the estimated cost of the conferences and includes conference registration fees, meeting per diems, food per diems, travel costs and accommodation:

	LGLA (EOS)	AVICC	FCM	UBCM	VIEA	Total
Cost per/person	\$2,100	\$2,100	\$5,500	\$4,500	\$1,500	\$15,700
Total Cost Option A	\$6,300 (3 attend)	\$10,500 (5 attend)	\$0 (0 attend)	\$22,500 (5 attend)	\$4,500 (3 attend)	<u>\$43,800</u>
Total Cost Option B	\$10,500 (5 attend)	\$10,500 (5 attend)	\$5,500 (1 attends)	\$22,500 (5 attend)	\$7,500 (5 attend)	<u>\$56,500</u>
Total Cost Option C	\$2,100 x # of attendees	\$2,100 x # of attendees	\$5,500 x # of attendees	\$4,500 x # of attendees	\$1,500 x # of attendees	<u>??????</u>

Registration

Registration is now open for LGLA's EOS. Staff are therefore seeking direction regarding whom to register. Staff have also booked accommodation for UBCM to ensure rooms are available for all Council members to attend.

ANALYSIS OF OPTIONS:

The total cost associated with the recommended enrolment in conferences is approximately **\$43,800.00**. This cost includes meeting per diems which are budgeted for under payroll rather than the conference budget. This allocation is similar to previous years Council conference budgets.

Alternatively, Council could authorize more, or fewer Council members attend the conferences held in British Columbia. Council may also decide to send a representative and staff member to FCM, which would have substantial cost implications due to travel requirements.

A	<p>Direct Staff to budget for 3 Council members to attend LGLA and VIEA, 5 Council members to attend UBCM and AVICC, and 0 Council Members to attend FCM.</p> <p>Determine which Council members will attend LGLA (EOS)</p>	<u>Pros</u>	<ul style="list-style-type: none"> No increase in the annual budget.
		<u>Cons</u>	<ul style="list-style-type: none"> Not all Council members would attend LGLA (EOS) and VIEA. No Council members would attend FCM.
		<u>Implications</u>	<ul style="list-style-type: none"> No change in the budget from 2022 to 2023
B	<p>Direct Staff to budget for one Council member to attend FCM and all Council members to attend LGLA, VIEA, UBCM, and AVICC.</p> <p>Determine which Council members would attend FCM.</p>	<u>Pros</u>	<ul style="list-style-type: none"> All Council members would attend LGLA, UBCM, AVICC and VIEA. One Council member would attend FCM.
		<u>Cons</u>	<ul style="list-style-type: none"> The Budget would have to be increased.
		<u>Implications</u>	<ul style="list-style-type: none"> The 2023 budget would be greater than the 2022 budget.
		<u>Suggested Motion</u>	<ol style="list-style-type: none"> THAT Council direct staff to include \$56,500 in the 2023 Council budget for council conferences. THAT Council authorize: <ol style="list-style-type: none"> [name] to attend the Federation of Canadian Municipalities conference in 2023; and, all Council members to attend the Local Government Leadership Academy Elected Official Seminars, 2023 Association of Vancouver Island and Coastal Communities Convention, 2023 Union of BC Municipalities Convention and 2023 Annual Vancouver Island Economic Summit.
C		<u>Pros</u>	This direction may better align with Council's interest.
		<u>Cons</u>	Increased conference attendance will result in increased costs.

If Council chooses to change the proposed schedule, it is recommended that Council direct Staff to present the amended schedule at the next Regular Council meeting, to avoid scheduling conflicts.

A	Adopt the 2023 Meeting Schedule as presented and direct Staff to give notice.	<u>Pros</u>	<ul style="list-style-type: none"> This Meeting Schedule generally aligns with the 2022 schedule. Set the meeting schedule for 2023 ensuring the community knows when Councils regular meetings are planned.
		<u>Cons</u>	<ul style="list-style-type: none"> N/A
		<u>Implications</u>	<ul style="list-style-type: none"> N/A
B	Direct Staff to present an amended Meeting Schedule at the next Regular Council Meeting.	<u>Pros</u>	<ul style="list-style-type: none"> This schedule may better align with Council’s interests and personal schedules.
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time.
		<u>Implications</u>	<ul style="list-style-type: none"> An amended schedule may have staffing and/or financial implications depending on the changes.
		<u>Suggested Motion</u>	<p>THAT Council direct Staff to present an amended Meeting Schedule at the next Regular Council Meeting which includes the following changes:</p> <p>a. _____;</p> <p>b. _____; and,</p> <p>c. _____.</p>

POLICY OR LEGISLATIVE IMPACTS:

The [S. 127 of the Community Charter](#) requires that Council make available to the public a schedule of the date, time and place of Regular Council Meetings and give notice of the schedule annually.

NEXT STEPS:

If the Meeting Schedule is adopted, Staff will give notice in accordance with the *Community Charter*.

Respectfully submitted: Joseph Rotenberg, Manager of Corporate Services
 Duane Lawrence, CAO



2023 ANNUAL COUNCIL MEETING SCHEDULE

Meetings will be held in the Ucluelet Community Centre located at 500
Matterson Drive, Ucluelet, B.C. unless otherwise advertised.

DATE	TIME	MEETING TYPE
January 10	4:00 PM	Regular Meeting
January 24	4:00 PM	Regular Meeting
January 31	4:00 PM	Committee of the Whole
February 9	4:00 PM	Regular Meeting
February 21	4:00 PM	Regular Meeting
March 14	4:00 PM	Regular Meeting
March 21	4:00 PM	Harbour Authority Meeting
March 28	4:00 PM	Regular Meeting
April 11	4:00 PM	Regular Meeting
April 25	4:00 PM	Regular Meeting
May 9	4:00 PM	Regular Meeting
May 16	4:00 PM	Harbour Authority Meeting
May 23	4:00 PM	Regular Meeting
June 8	4:00 PM	Regular Meeting
June 20	4:00 PM	Committee of the Whole
June 27	4:00 PM	Regular Meeting
July 18	4:00 PM	Regular Meeting
August 8	4:00 PM	Regular Meeting
September 5	4:00 PM	Regular Meeting
September 26	4:00 PM	Regular Meeting
October 10	4:00 PM	Regular Meeting
October 19	4:00 PM	Harbour Authority Meeting
October 23	4:00 PM	Regular Meeting
November 7	4:00 PM	Regular Meeting
November 14	4:00 PM	Committee of the Whole
November 21	4:00 PM	Regular Meeting
December 7	4:00 PM	Regular Meeting



REPORT TO COUNCIL

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: DONNA MONTEITH, CHIEF FINANCIAL OFFICER

FILE NO: 1700-02

SUBJECT: FIVE YEAR FINANCIAL PLAN MEETING SCHEDULE (2023-2027)

REPORT NO: 22- 163

ATTACHMENT(S): APPENDIX A – FIVE YEAR FINANCIAL PLAN MEETING SCHEDULE

RECOMMENDATION(S):

THAT Council receive the Five-Year Financial Plan Meeting Schedule (2023 – 2027) as presented.

BACKGROUND:

In accordance with [s. 165 Community Charter](#), a municipality must have a financial plan that is adopted annually, by bylaw, before the annual property tax bylaw is adopted. The annual property tax bylaw must be adopted before May 15th each year, [s. 197 Community Charter](#).

Further, under [s. 166 Community Charter](#), a council must undertake a process of public consultation regarding the proposed financial plan before the bylaw can be adopted.

The suggested meeting dates to discuss the 2023-2027 Financial Plan is attached as **Appendix A**.

ANALYSIS OF OPTIONS:

A	Receive the Five-Year Financial Plan meeting schedule	<u>Pros</u>	<ul style="list-style-type: none"> Provides Council and the community with an overview of the budget process. Helps to communicate how the community can engage in the budget process.
		<u>Cons</u>	<ul style="list-style-type: none"> None identified
		<u>Implications</u>	<ul style="list-style-type: none"> There are no staffing or cost implications.
B	Approve the Five-Year Financial Plan meeting schedule as amended	<u>Pros</u>	<ul style="list-style-type: none"> Ensures the schedule meets the needs of Council. Continues to ensure the community can participate in the budget process.
		<u>Cons</u>	<ul style="list-style-type: none"> None identified at this time
		<u>Implications</u>	<ul style="list-style-type: none"> Adjusting the schedule may have impacts on the preparation of the budget and timing for adoption of the related bylaws.

District of Ucluelet Five-Year Financial Plan (2023 – 2027)
Five Year Financial Plan Meeting Schedule

December 8, 2022, Thursday, 12:30 pm

January 19, 2023, Thursday, 4:00pm

February 23, 2023, Thursday, 4:00 pm

Official Public Feedback Feb 27 – March 27, 2023

April 13, 2023, Thursday, 4:00pm (Tentative)

April 25, 2023, Tuesday, Regular Council Meeting, 4:00pm

- Five Year Financial Plan Bylaw – 1-3rd Readings
- Tax Rates Bylaw – 1-3rd Readings

May 9, 2023, Tuesday, Regular Council Meeting, 4:00pm

- Five Year Financial Plan Bylaw – Adoption
- Tax Rates Bylaw – Adoption

NOTE: Bylaw's must be adopted prior to May 15, 2023

For information on how to participate in Council Meetings go to
<https://ucluelet.ca/community/district-of-ucluelet-council/communicating-with-council>

Questions and input may be sent to communityinput@ucluelet.ca at any time
up to March 27, 2023.



REPORT TO COUNCIL

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER

FILE NO: 3060-20-DP22-10

SUBJECT: DEVELOPMENT PERMIT FOR 259 BOARDWALK BOULEVARD

REPORT NO: 22-164

ATTACHMENT(S): Appendix A - Application
Appendix B - Permit

RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Development Permit 22-10 for the property at 259 Boardwalk Boulevard to allow a two-unit resort condo building and associated landscaping.

BACKGROUND:

This development permit was received May 18, 2022, with the environmental report being received August 23, 2022. The application is for a 2-unit resort condominium building and associated landscaping at 259 Boardwalk Boulevard, strata Lot B, section Lot 21, Clayoquot District. Strata Plan VIS6125 (the **Subject Property**).

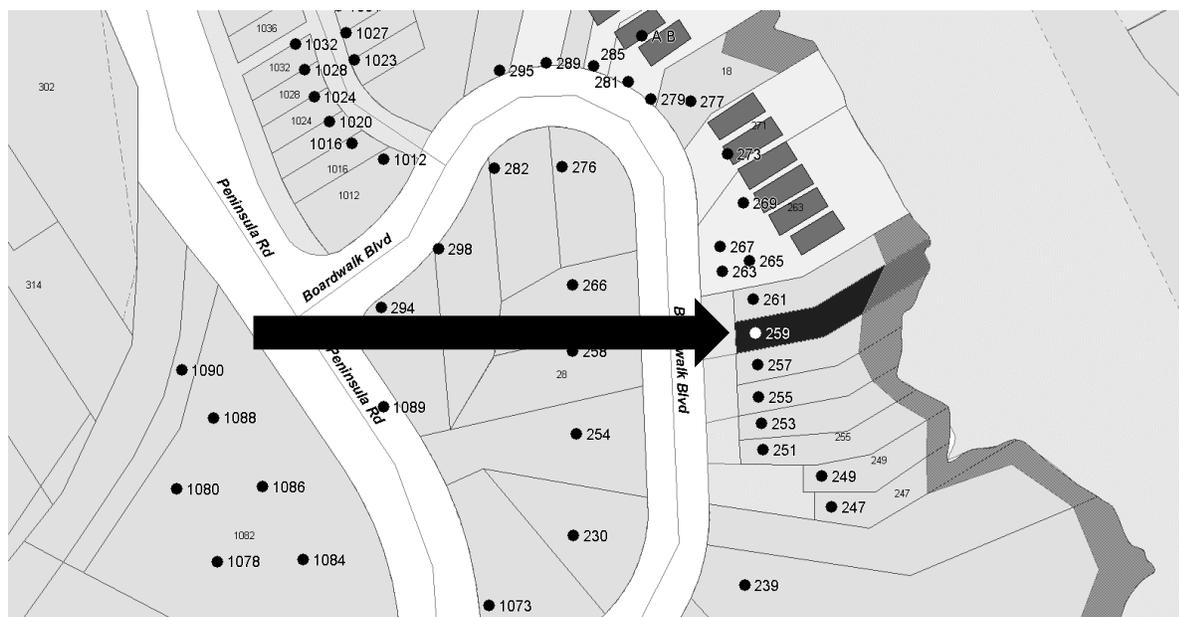


Figure 1 – The subject property

The subject property is a vacant waterfront lot fronting spring cove. It is generally flat at street level and clear of vegetation for the first 30m back from the road (**Figure 2**) then property slopes down (about 10.5m) towards the water. The waterfront area (within 20m of the natural boundary) is forested and is in a natural state. There is a greenspace covenant on title of the subject property protecting an area extending 15m back from the natural boundary.



Figure 2 – Streetview image of the subject property frontage

OCP:

[Section 488\(1\) of the Local Government Act](#) allows local governments to designate Development Permit Areas for a variety of purposes. In Ucluelet Development Permit Areas are designated within the [Official Community Plan](#) and the relevant objectives for this application are:

- The form and character of development in a resort region.
- The protection of the natural environment, its ecosystems and biological diversity.

FORM AND CHARACTER - MULTI-FAMILY, COMMERCIAL & MIXED-USE (DPA IV):

Form and Character Development Permit Areas are established to guide development and land use to ensure a pedestrian-oriented, compact, and vibrant community which maintains its coastal village character.

Building Design

The applicant is proposing a two unit, up / down resort condo building located to the front of the subject property. The building is rectangular with a medium slope gable roof. The front façade is unadorned with two rows of narrow windows. The entrance of the two units occurs to side of the building. The building's

exterior materials consist of grey horizontal Hardie cement board siding, cedar trim, aluminium railing, and black asphalt shingles.

The DPA guidelines generally encourage that entrances face the property frontage and that the front facade hold interest and detail. Given the limitations of these small narrow lots, the variations in the built environment already built on the street, and that traditional fishing village homes often had a somewhat unadorned facade with narrow windows and side entrances (see **Figure 3**), the proposal is found to be consistent the Development Permit (**DP**) guidelines.



Figure 3 – Fishing Village vernacular

Landscaping

The applicant is proposing minimal landscaping directly in front of the units consisting of one dwarf cypress tree and 13 ponytail grasses.

Staff note that the parking layout is shown differently on the landscape plan and site plan. Staff have added a condition to the DP stipulating that a final landscape plan be submitted for review and approval, coordinating with the adjacent development and providing some screening of the parking area. Given the limitations of these small narrow lots and the landscaping of the surrounding properties, with minor adjustments to screen parking areas the proposal would be consistent the Development Permit (DP) guidelines.

ENVIRONMENTAL - MARINE SHORELINE (DPA VII):

Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities. For all land lying within an Environmental DP area, an assessment of the site, its natural features and the development must be undertaken, and the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) establishing conditions for development. Staff draft the associated development permit terms and conditions from the recommendations in the QEP's report. The subject property falls within the Marine Shoreline Development Permit Areas, which includes lands within 30m above and below the natural boundary of the sea.

The applicant has submitted an environmental assessment by Current Environmental dated August 23, 2022. This report has identified that the building site is clear of key environmental features but the area within 20m from the natural boundary should not be disturbed. The report provided mitigation measure to be implemented during construction and these measures will form part of the development permit.

ZONING:

The subject property is designated as being in the CS-5 Tourist Commercial zone. From the information supplied, the proposal meets this zoning.

WATERFRONT TRAIL:

In the original 1998 subdivision proposal for this area, one of the amenities promised to the community was a public waterfront trail or boardwalk along the shoreline of Spring Cove. At that time a statutory right-of-way was registered on the title of all waterfront properties to secure the public trail. The 1998 right-of-way was poorly written, incorrectly placing the onus of maintaining the public boardwalk trail (and associated liability) on private property owners. Many of the property owners in this area have welcomed the idea of an interconnecting public waterfront trail and have signed a replacement right-of-way that would properly enable its construction. The recently-completed first phase of the Spring Cove trail is located in such new rights-of-way.

The applicant has expressed an interest in the replacement right-of-way and is currently reviewing the relevant terms and conditions.

FIRE PROTECTION:

The subject property is serviced by a hydrant 50m away. Fire protection would be approached from the street consistent with the other buildings in this area.

SERVICING:

The subject property is fully serviced, and the scale of this proposal was anticipated in the original subdivision.

ANALYSIS OF OPTIONS

A	Authorize the issuance of Development Permit 22-10	<u>Pros</u>	<ul style="list-style-type: none"> Allows applicant's development to proceed in a manner which is deemed consistent with the OCP development permit guidelines.
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> Approval will allow the application to proceed.
B	Provide alternative direction	<u>Pros</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Suggested Motion</u>	THAT Council, with regard to Development Permit 22-10, (<i>provide alternative direction here</i>)

C	Reject the application	<u>Pros</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> Does not allow applicant's development to proceed.
		<u>Implications</u>	<ul style="list-style-type: none"> The application would not proceed. Additional staff time will be required to follow up with applicant and consultants. If rejecting the application, Council should state which DPA guidelines are not being adequately met buy the current proposal.
		<u>Suggested Motion</u>	THAT Council reject the application for Development Permit 22-10

POLICY OR LEGISLATIVE IMPACTS:

This application is consistent with the Official Community Plan, the Zoning Bylaw and the Local Government Act.

NEXT STEPS

If this application is approved the attached DP will be signed by the Director of Community Planning, issued to the applicant, and notice will be filed with the Land Title Office.

The applicant or subsequent owners of the subject property would be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted:

JOHN TOWGOOD, MUNICIPAL PLANNER
 BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING
 DUANE LAWRENCE, CAO

May 15th, 2022
SLB, 196 BOARDWALK BLVD
To District of Ucluelet Planning Department:

At present time SL B, 196 BOARDWALK BLVD is zoned CS-5 which bylaws state that the side setbacks at 4' and rear setbacks be set at 10' and the front setbacks be set at 20'. The lot is located beside Best Coast Cabins.

The lot we purchased to build 2 units resort condo measures 17' in width x 41' ½" in length.

The setbacks we are proposing are 4' on the sides, 31' on the rear, and 21.48" on the west north corner and 23.99' on the west south corner. This excludes eaves and gutters as per zoning bylaw number 306.3

The front yard setback more than 20' as per bylaw is to provide two parking space at common property and front yard setback and keep the parking space have 10' distance from highway and 5' distance from side property as per zoning bylaw number 503.2.

We will be using non-combustible hardie cladding for added protection.

We will be following the B.C. building codes and will have regular inspections from the district authorities. All plans and setbacks will be approved by the district and a building permit will be issued closer to construction time.

Lot boundaries and foundation footings will professionally pinned by AG surveys of Ucluelet so there is no discrepancy. Trades and sub-trades are all professionals and are either local or imported from out of area. Setbacks are stated on the plans and will be approved by the district and construction has been altered to conform with the provincial and local fire codes.

..

The colors we have chose for the main cladding is grey Hardie.
The gutters and downspouts will be aluminum gutters along with the flange on the exterior of the windows.
The roofing material will be black asphalt shingle.
I will follow all proper codes and bylaws implemented by the district and the province to complete a cottage that is safe and will last for years. I am

looking forward to your response and approval for the commencement of our 2 units resort condo.

Thank you for your consideration,

HAOLI INVESTMENTS LTD.
#5200-4000 No.3 Rd, Richmond, BC, V6X 0J8
778.881.0388

=====

**SL B 196 BOARDWALK BLVD UCLUELET BC
STRATA LOTS B, SECTION 21 CLAYOQUOT DIST., PLAN VIS6125**

Parcel Identifier 026-843-544

Zoned CS-5

Front 6 meters (20')

Sides 4'

Rear 10'

Height restrictions 39'

Lot coverage 40%

Max Floor Ratio - 70%

Exterior:

Hardie board siding (GREY COLOR)

Grey color trim, barge board and fascia and band board

Black color asphalt shingles with roof venting

Black color Flashing and gutters

Black color vinyl windows

Non vented cedar soffits

Interior

Ceiling- will be Drywall

Walls all Drywall

Flooring- Laminate and ceramic tile

Contacts John Towgood-Ucluelet Planning Department 250-726-4770

Site Plan of: Strata Lot B, Section 21 Clayoquot District, Plan VIS6125

Parcel Identifiers: 026-843-544

SCALE - 1 : 350



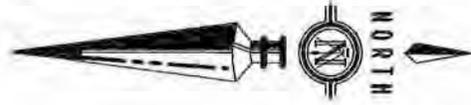
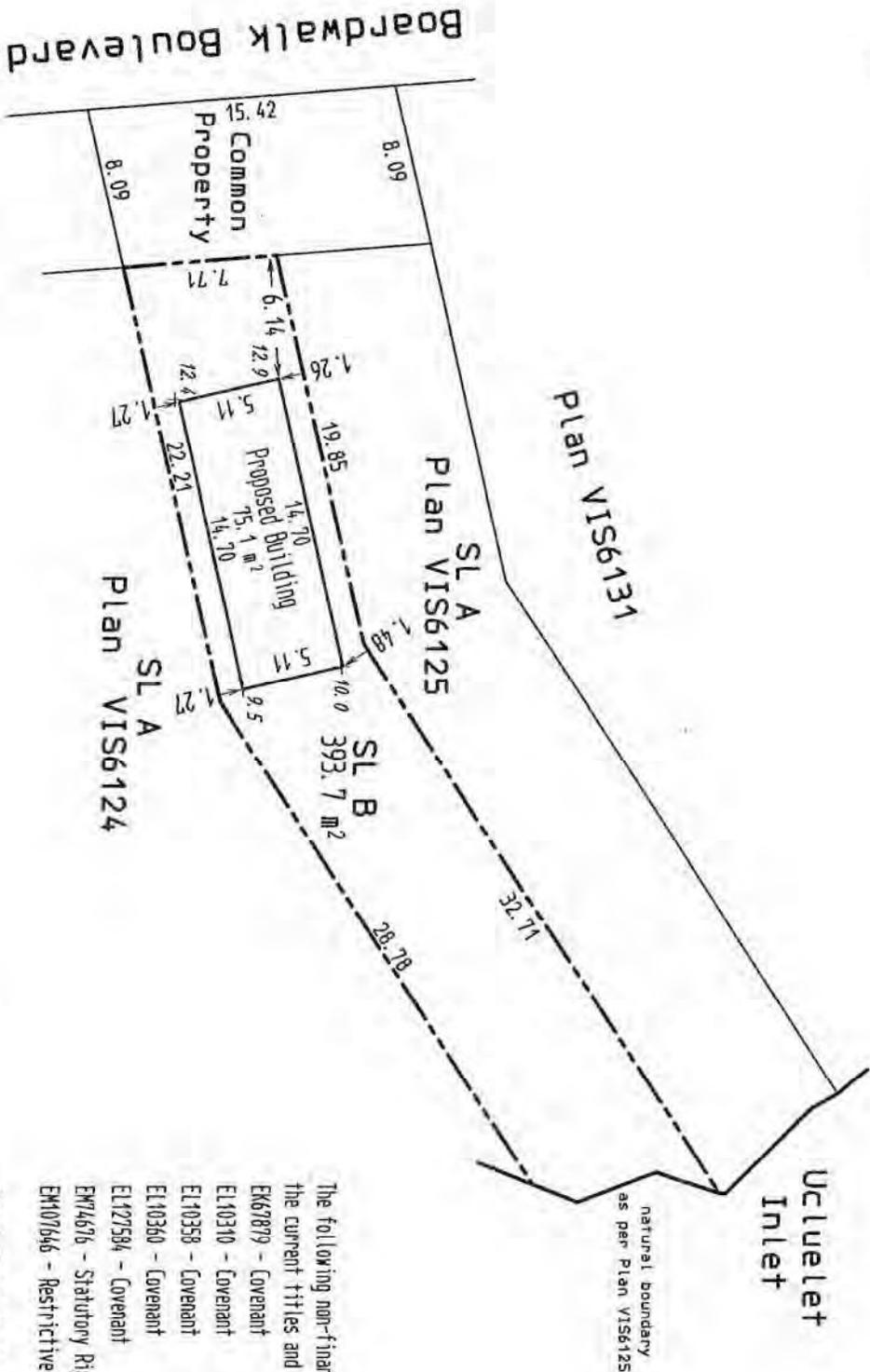
All distances are in metres and decimals thereof.

(plot on 8.5" x 11" sheet)

LEGEND

- Elevations are Geodetic (CGVD2013).
- Average Natural Grade of Proposed Building = 11.20M
- Proposed Main Floor Elevation = 13.41M
- Percentage Lot Coverage of the Proposed Building = 19.1%

FILE : 196-Bwalk (SLB)
DWG/DATE: 2022-02-19
AG Surveys
545 - 110 Marine Drive
Ucluelet, BC V0R 3A0
phone (250) 266-4536



The following non-financial changes are shown on the current titles and may affect the properties.

- EK67879 - Covenant
- EL10310 - Covenant
- EL10358 - Covenant
- EL10360 - Covenant
- EL127594 - Covenant
- EM74676 - Statutory Right of Way
- EM107646 - Restrictive Covenant

Parcel dimensions shown hereon are derived from Land Title Office records.

Plant List - 259 Boardwalk Blvd			
ID	City	Common Name	Scheduled Size
TR1	TR	TR	TR
TR2	TR	TR	TR
TR3	TR	TR	TR
TR4	TR	TR	TR
TR5	TR	TR	TR
TR6	TR	TR	TR
TR7	TR	TR	TR
TR8	TR	TR	TR
TR9	TR	TR	TR
TR10	TR	TR	TR
TR11	TR	TR	TR
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TR96	TR	TR	TR
TR97	TR	TR	TR
TR98	TR	TR	TR
TR99	TR	TR	TR
TR100	TR	TR	TR



1 LANDSCAPE PLAN
Scale: 1/8" = 1'-0"

No.	Date	Issue Notes
GREENROOMGARDEN		
259 BOARDWALK BLVD OCULOELET		
LANDSCAPE PLAN		
Project No.	2022-09-17	
Client No.	AS 3000	
Designer		
Checker		
Scale		
File Name	259 Boardwalk Blvd - Landscape (03).vsw	



To:	Lynn Lee, Property Developer	Date:	August 23, 2022
From:	Jamie Godfrey, Technologist Rupert Wong, R.P.Bio.	Pages:	22
Cc:	District of Ucluelet Planning	Project:	

RE: ASSESSMENT REPORT – 259 Boardwalk Boulevard, Ucluelet, BC

This letter report is intended to inform the District of Ucluelet (DOU) of the current biophysical state of the subject property at 259 Boardwalk Boulevard. There is a Marine Shoreline Development Permit Area (MSDPA) on the subject property relating to the marine shoreline of Spring Cove (Figure 1). The DOU Bylaw No. 1306¹ requires that an assessment report be prepared by a Qualified Environmental Professional (QEP) prior to development occurring within the 30 m MSDPA. The property owners will be undertaking the construction of a new resort condo within the 30 m MSDPA on their property. As such, this report satisfies the requirements of the DOU Bylaw 1306 for an assessment report.

NOTE: This report forms one half of a pair of assessment reports for two properties (259 and 261 Boardwalk Boulevard) that are immediately adjacent and relatively small in size, covering a combined width of 16 m. As such, there are many similarities between the two reports.

This report is divided into the following categories:

1	Introduction	2
1.1	Proposed Development	3
2	Methodology	6
2.1	Background Review	6
2.2	Field Assessment	7
2.2.1	Marine Shoreline	7
2.2.2	Watercourses and Wetlands	7
2.2.3	Terrestrial Habitats and Species	7
2.2.4	Species and Ecosystems at Risk	8
3	Results	8
3.1	General Description of the Subject Property	8
3.2	Marine Shoreline	9
3.2.1	Physical Shoreline Characteristics	9
3.2.2	Supralittoral and Intertidal Habitat	9
3.2.3	Backshore Habitat	9
3.3	Watercourses and Wetlands	9
3.4	Terrestrial Habitats and Species	10
3.5	Species and Ecosystems at Risk	10
4	Discussion/Recommendations	11

¹ District Of Ucluelet. (2022). *Bylaw No. 1306, 2022: A bylaw to adopt "District of Ucluelet Official Community Plan 2022."*
<https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan>

4.1	Importance of Backshore Habitat	11
4.2	Shoreline Setback Area	12
4.3	Vegetation Restoration and Invasive Species Removals	13
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1 INTRODUCTION

The subject property is a 0.04-hectare property located along the marine shoreline of Spring Cove across from Hyphocus Island. The civic address of the property is 259 Boardwalk Boulevard, and the PID is 026-843-544. It lies south of the Ucluelet town center in an area zoned CS-5 – Tourist Commercial, which is “intended to provide for tourist commercial accommodations and other related recreational and primarily tourist commercial uses”. Development is ongoing in the neighborhood; however, the subject property is currently undeveloped and well vegetated. The proposed development for the property is the construction of a new resort condo.

The objectives of this assessment report are to:

1. Delineate and describe the shoreline habitat on the subject property;
2. Provide advice and recommendations on appropriate siting of development on the subject property;
3. Identify sensitive habitats and species on the subject property that require protection;
4. Provide mitigation measures to protect the shoreline and any other sensitive habitats and species during development; and
5. Prescribe habitat enhancements and invasive species removals where applicable.

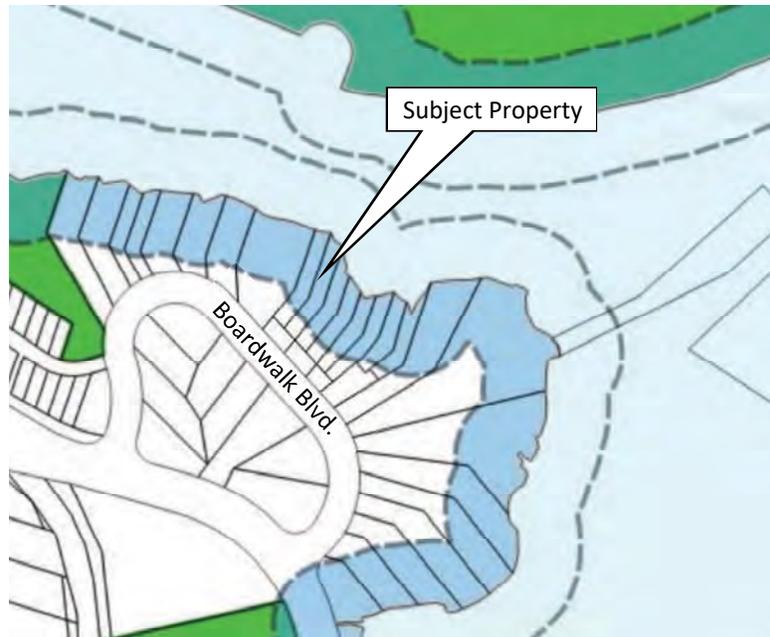


Figure 1. Location of the subject property and the 30 m Marine Shoreline Development Permit Area (Grey dashed lines).

1.1 PROPOSED DEVELOPMENT

The subject property is currently undeveloped and completely vegetated (Photo 1). Proposed work on the subject property includes the construction of a brand-new resort condo (Figure 2). The proposed condo will have two identical floors representing two separate units, each with two bedrooms (Figure 3). Lot coverage for the proposed development will be 758.98 square feet which represents approximately 18% of an allowable 40%. These calculations include the proposed condo and exterior porches and stairways, but do not include other hardened surfaces such as driveways or walkways on the property. Development of the subject property will require clearing, grubbing, and grading of land within the development footprint prior to construction.

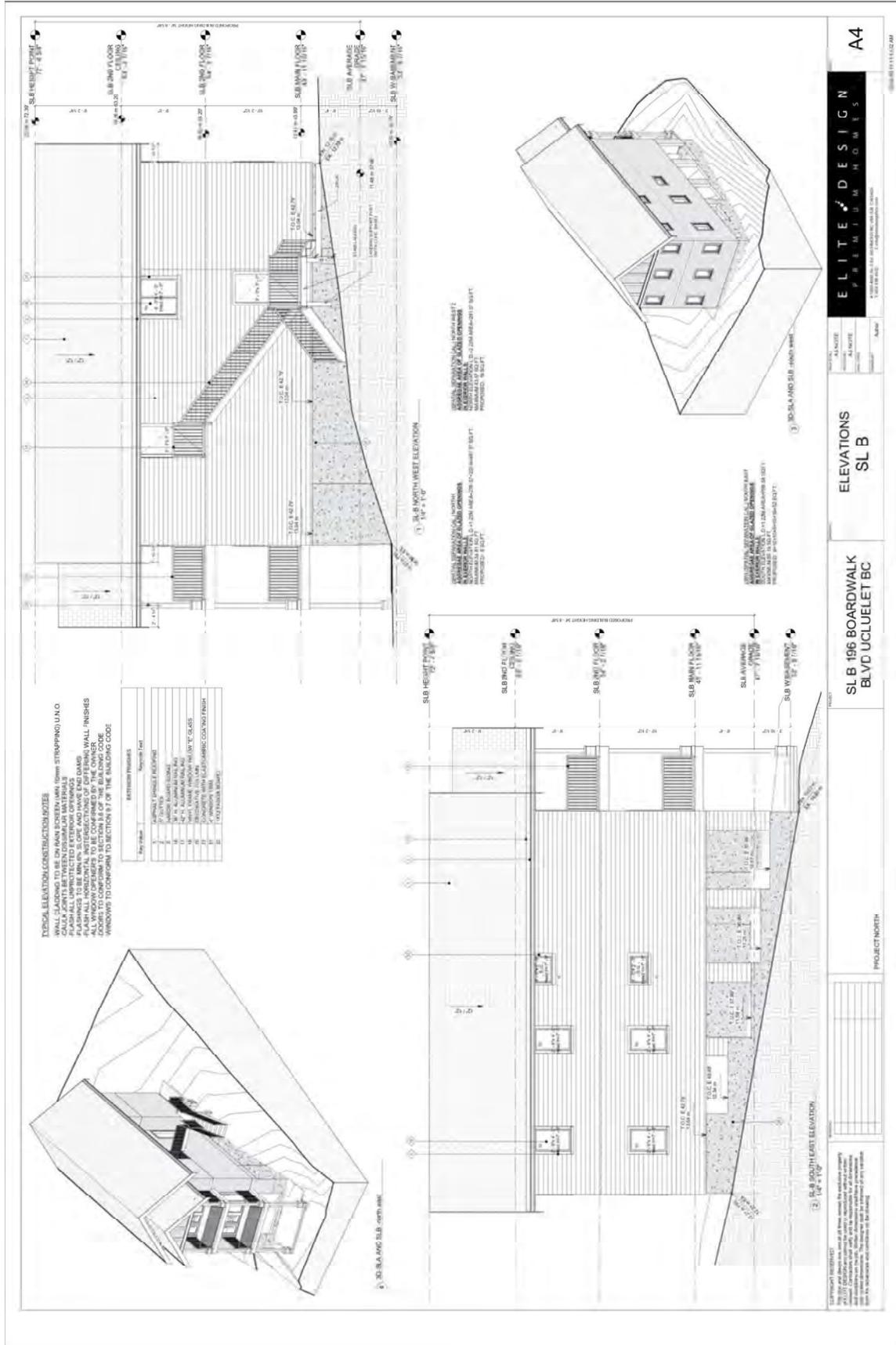


Figure 3: Proposed exterior design of the resort condo at 259 Boardwalk Boulevard.



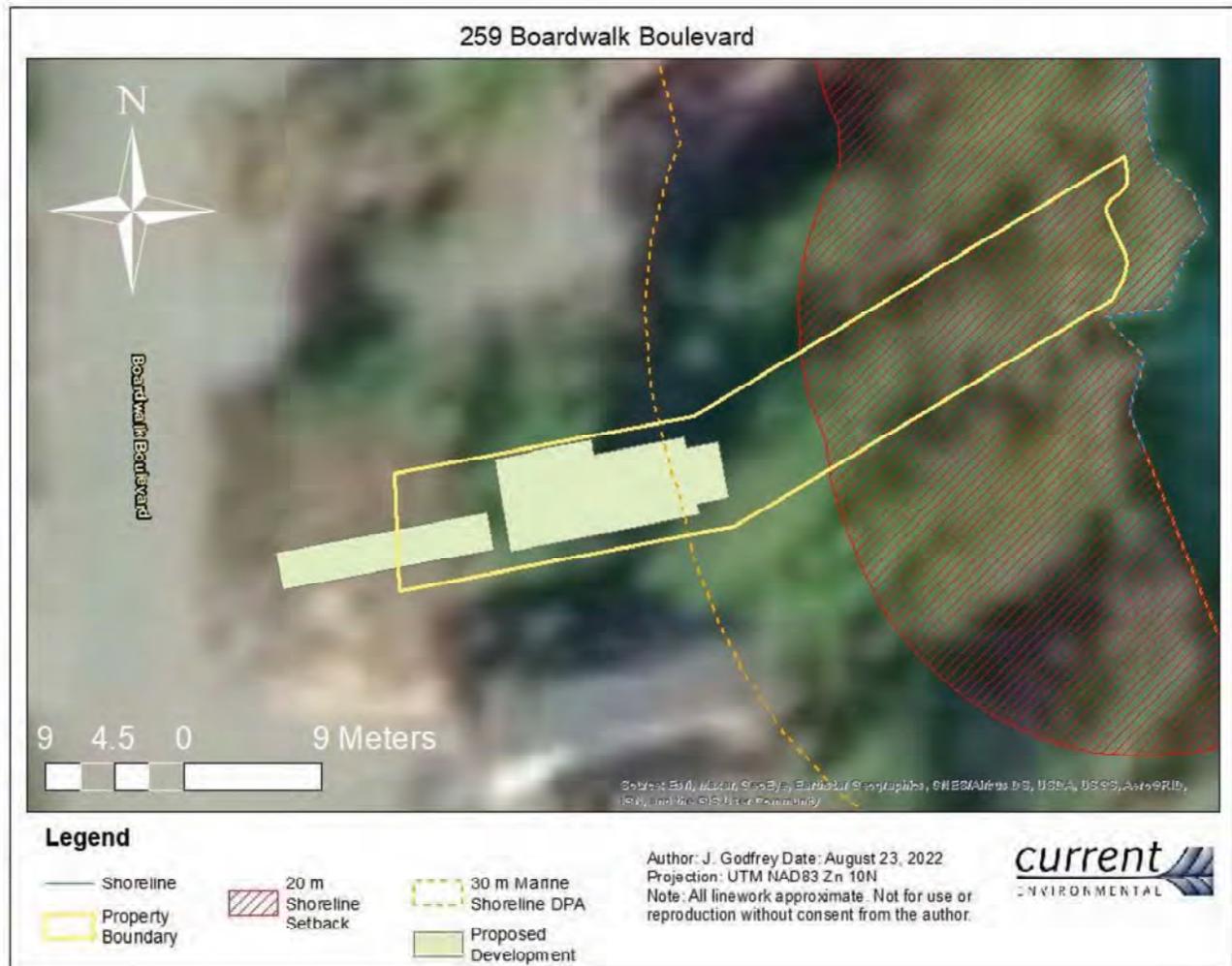


Figure 4: Location of the proposed development in relation to the 30 m MSDPA and 20 m Shoreline setback

2 METHODOLOGY

2.1 BACKGROUND REVIEW

Background information on Environmentally Sensitive Areas (ESAs) located within or in proximity to the subject property was obtained using the following sources:

- 1) Conservation Data Center (CDC)
- 2) District of Ucluelet Mapping (UkeeMap)
- 3) Wildlife Tree Stewardship atlas (WiTS)
- 4) Great Blue Heron Atlas
- 5) Species at Risk Act (SARA) database
- 6) Aerial photographs

2.2 FIELD ASSESSMENT

A ground-level assessment of aquatic/terrestrial habitats and species was conducted on July 29, 2022. The entire property was walked to ensure that all Environmentally Sensitive Areas (ESAs) were mapped; however, the assessment focused on the marine shoreline and the proposed development in the 30 m MSDPA. The following sections provide additional detail on specific inventory methods.

2.2.1 Marine Shoreline

The site survey was timed to coincide with a mid to low tide, to observe the intertidal areas adjacent to the subject property. Backshore vegetation was documented, and observations were made on the current functions of the backshore habitat on the marine shoreline. Sampling for fish/egg presence was not completed as part of this assessment. Methodologies to complete the marine shoreline assessment were based primarily on those outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*².

For the purposes of this assessment, the habitat inventory affecting the subject property has been limited to the upper intertidal zone (from the mid-tide range to the high-water mark), the supralittoral zone (otherwise known as the splash zone which would only receive water/sediment during storm events), and the backshore zone (extending from the supralittoral zone to outer edge of the 30 m wide MSDPA for the marine shoreline).

2.2.2 Watercourses and Wetlands

The subject property was walked to ensure there were no other watercourses or wetlands on or near the property requiring protection from development. Criteria for delineating watercourses was based on the *BC Riparian Areas Protection Regulation (RAPR)*³. Under the RAPR, the Stream Boundary is defined as the "visible high water mark of a stream where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark on the soil of the bed of the stream a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself, and includes the active floodplain." Vegetation indicators were used as guidance to determine the presence or absence of wetlands on the subject property, as described in *Wetlands of British Columbia*⁴.

2.2.3 Terrestrial Habitats and Species

Survey methods for terrestrial elements or ESAs were directed in part by those outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*² and the *Field Manual for Describing*

² BC Ministry of Environment. (2014). *Develop With Care: Environmental Guidelines for Urban and Rural Land Development*. <<https://www2.gov.bc.ca/assets/gov/environment/natural-resource-stewardship/best-management-practices/develop-with-care/dwc-section-4.pdf>>

³ BC Ministry of Forests, Lands, Natural Resource Operations and Rural Development. (2019). *Riparian Areas Protection Regulation: Technical Assessment Manual*. <https://www2.gov.bc.ca/assets/gov/environment/plants-animals-and-ecosystems/fish-fish-habitat/riparian-areas-regulations/rapr_assessment_methods_manual_for_web_11.pdf>

⁴ MacKenzie, W.H, and J. R. Moran. (2014). *Wetlands of British Columbia, A Guide to Identification*. BC Ministry of Forests.

Biophysical Assessment – 259 Boardwalk Boulevard, Ucluelet, BC

8

*Terrestrial Ecosystems*⁵. Vegetation on the subject property was identified with the assistance of *Plants of Coastal British Columbia*⁶ and *E-Flora BC: Electronic Atlas of the Flora of BC*.⁷

2.2.4 Species and Ecosystems at Risk

An office-based assessment of Species at Risk occurrences on the subject property was completed using the *CDC BC Species and Ecosystems Explorer*⁸, the *Federal Species at Risk Public Registry*⁹, the *Wildlife Tree Stewardship Atlas*¹⁰ and the *Great Blue Heron Atlas*¹¹. The on-site assessment of Species at Risk was completed concurrent with the other inventory efforts mentioned above and was based primarily on methods outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*².

3 RESULTS

The following sub-sections describe the findings of the background review and site visit conducted on July 29th, 2022. Discussion on how these findings influence the proposed development are provided in the Discussion/Recommendations section of the report (Section 4).

3.1 GENERAL DESCRIPTION OF THE SUBJECT PROPERTY

The subject property is a 0.04-hectare property located along the marine shoreline of Spring Cove which separates Hyphocus Island from the Ucluelet peninsula. The civic address of the property is 259 Boardwalk Boulevard (PID: 026-843-544) and it lies south of the town center in a neighborhood zoned for tourist commercial accommodation (CS-5). The lot is narrow – only 8 m wide – and rectangular. The western 1/3 of the lot is oriented roughly east-west, and the eastern 2/3 are oriented roughly southwest – northeast, creating a distinct bend in the shape of the lot. The seaward end of the lot slopes steeply (~20-30°) towards the ocean, with the top of bank being approximately 20 m back from the shoreline (Figure 4). Between the top of bank and Boardwalk Boulevard, the lot has a gentler slope (13°) towards the ocean.

The property is currently vegetated with no existing development. The western portions of the property appear to have been affected by previous disturbances which most recently include land clearing works to enable development of surrounding lots. This disturbance is evident on the subject property by the lack of a well-developed tree canopy in the portion of the lot adjacent to Boardwalk Boulevard, as well as the prevalence of Scotch broom (*Cytisus scoparius*) (Photo 1). Portions of the property closer to the marine shoreline retain natural vegetation communities typical of shoreline sites in this biogeoclimatic zone (Photo 2).

⁵ BC Ministry of Environment. (2010). *Field Manual for Describing Terrestrial Ecosystems, 2nd Edition*. <https://www2.gov.bc.ca/assets/gov/environment/plants-animals-and-ecosystems/conservation-data-centre/field_manual_describing_terrestrial_ecosystems_2nd.pdf>

⁶ Pojar, J. and A. MacKinnon. (1994). *Plants of Coastal British Columbia (Revised, 2004)*. Lone Pine Publishing.

⁷ University of British Columbia. (2020). *E-Flora BC: Electronic Atlas of the Flora of BC*. <<https://ibis.geog.ubc.ca/biodiversity/eflora/index.shtml>>

⁸ BC Ministry of Environment. (2020). *CDC imap and Ecosystems Explorer*. <<http://maps.gov.bc.ca/ess/hm/cdc/>>

⁹ Government of Canada. (2020). *Species at Risk Public Registry*. <<https://www.canada.ca/en/environment-climate-change/services/species-risk-public-registry.html>>

¹⁰ Community Mapping Network. (2020). *Wildlife Tree Stewardship Atlas (WITS)*. <<https://cmnmaps.ca/wits/>>

¹¹ Community Mapping Network. (2020). *Great Blue Heron Atlas*. <<https://cmnmaps.ca/GBHE/>>

3.2 MARINE SHORELINE

3.2.1 Physical Shoreline Characteristics

The shoreline of the subject property lies near the midpoint of Spring Cove and is oriented approximately northeast facing directly towards Hyphocus Island, which is separated by a channel of approximately 60 m (Photo 3). Due to the well protected position within Spring Cove, the shoreline is characteristic of a low energy environment. No artificial armouring was seen during the July 29 site visit at the subject property; however, a natural rock cliff delineates the intertidal zone from the backshore habitat (Photo 4). Shoreline characteristics are quite homogenous along the beach in both directions (Photos 3 and 5).

3.2.2 Supralittoral and Intertidal Habitat

As mentioned in Section 3.2.1 above, the backshore habitat is delineated from the intertidal zone by a rock cliff. The cliff is approximately 3.5 m tall, with the top 1.5 m being devoid of vegetation. The bottom ~2.2 m are colonized by algae – primarily rockweed (*Fucus distichus*) and gutweed (*Ulva intestinalis*), and acorn barnacles (*Belanus glandula*) (Photo 4).

The cliff begins at the high tide line and extends 4 m into the intertidal zone. From 4 m to 11 m the beach slopes gently to the northeast with a slope of approximately 5°. The sediments of the beach are poorly sorted and consist of boulders from approximately 0.8 m diameter down to fine sands and silts (Photo 6). Within this section of the beach, the rockweed and gutweed that are common on the cliff described above become sparse, while sea lettuce (*Ulva lactuca*) occurs in small amounts. Bivalves, primarily Pacific oyster (*Crassostrea gigas*) and Pacific littleneck (*Leukoma staminea*) are common throughout this zone, and boulders in this zone are accreted together by Pacific oyster (Photo 7). From 11 m to 18 m the slope of the beach flattens slightly to approximately 2°. Gutweed and rockweed are mostly absent from this zone and sea lettuce is the dominant algae. Bivalves are less common below 11 m, which results in boulders not being accreted together (Photo 8). At the time of the July 29 site visit the intertidal zone below 18 m from the high tide line was inundated with seawater; however, physical characteristics appeared similar to those up to 11 m from the high tide line. Small patches of eelgrass (*Zostera marina*) were noted in the wetted portions of the intertidal zone between 18 and 30 m from the high tide line, as well as in the upper intertidal zone immediately to the south of the subject property shoreline (Photos 9 and 10).

3.2.3 Backshore Habitat

Above the cliff delineating the intertidal and backshore habitats on the subject property as described above, the property slopes steeply away from the ocean. The slope lessens further from the shoreline decreasing from 34° between 0 – 5 m to 22° between 5 – 20 m, to 13° between 20 – 30 m from the high tide line. Vegetation on this slope is typical of shoreline habitats in the wet hypermaritime variant of the coastal western hemlock (CWH) biogeoclimatic (BEC) zone. Tree canopy is dominated by western hemlock (*Tsuga heterophylla*) and western redcedar (*Thuja plicata*) with a very thick understory of salal (*Gaultheria shallon*) and few evergreen huckleberry (*Vaccinium ovatum*) (Photo 11). No invasive species were observed within the terrestrial plant community of the 30 m marine shoreline DPA.

Although steeply sloped, the backshore habitat appears stable with no signs of erosion evident during the July 29, 2022 site visit.

3.3 WATERCOURSES AND WETLANDS

Biophysical Assessment – 259 Boardwalk Boulevard, Ucluelet, BC
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There are no ditches, streams, or wetlands on the subject property. Although the property slopes steeply towards the ocean, no distinct watercourse channels were observed. This is likely due to the small elevation of the slope resulting in relatively low catchment of rain; thick soils allowing for significant infiltration; and the thick vegetation coverage absorbing large amounts of rainfall.

3.4 TERRESTRIAL HABITATS AND SPECIES

As previously described, the lot well vegetated with a plant community typical of the climatic conditions found on the subject property. Trees on the property were relatively small, with the largest measured to have a diameter at breast height (DBH) of approximately 0.8 m. This suggests that the property has been cleared of trees in the past. No evidence of significant wildlife use such as established game trails, tracks, or scat were found on the property. Similarly, there were no bird nests or high value nesting trees observed.

Although the terrestrial habitat on the subject property does not appear to be of high value for wildlife, the vegetation covering the steeply sloped portion of the property within the 30 m MSDPA is significant for its function in slope stabilization.

3.5 SPECIES AND ECOSYSTEMS AT RISK

The nearest recorded bald eagle nest (BAEA-108-309) is approximately 700 m from the subject property (Figure 5), and there are no great blue heron nests within one kilometer of the subject property. The proposed development will not pose a risk to any known bald eagle or blue heron nests.

The subject property is within 500 m of known populations of the California wax-myrtle (*Morella californica*) and site conditions are within the habitable range for the species; however, no individuals were found on the property during the site visit on July 29, 2022. The California wax-myrtle is a provincially blue-listed plant but due to its physical separation from the subject property, the proposed construction does not pose a risk to nearby populations of this species.

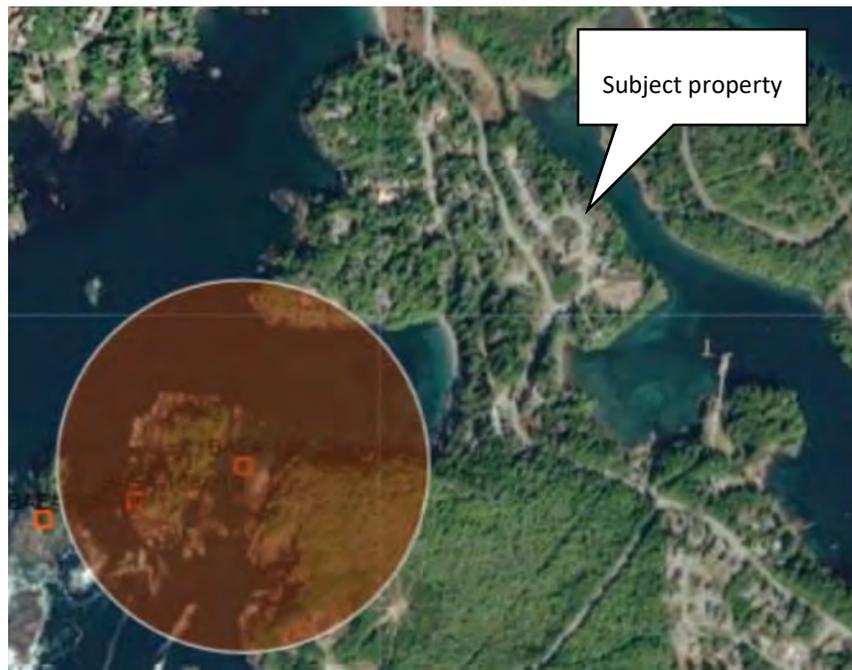


Figure 5. The nearest known bald eagle nest showing a 300 m buffer in relation to the subject property.

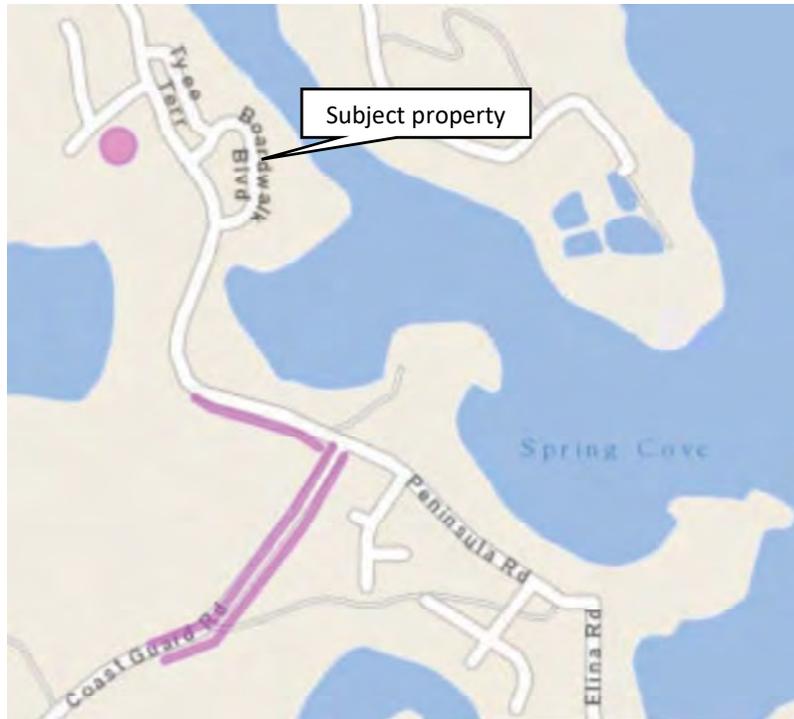


Figure 6: Nearby populations of the California wax-myrtle in relation to the subject property.

4 DISCUSSION/RECOMMENDATIONS

ESAs that require protection during the design and construction of the new dwelling are the marine shoreline and its associated backshore habitat including the trees on the steep slope. The following sections provide guidance on protecting these ESAs

4.1 IMPORTANCE OF BACKSHORE HABITAT

Backshore vegetation plays several critical roles in maintaining ecological function along the subject shoreline:

- 1) **Shoreline stabilization:** Vegetation stabilizes and traps shoreline substrates and helps dissipate wave energy to maintain natural process functions along marine shorelines.
- 2) **Pollutant removal:** Backshore vegetation filters pollutants from surface flows originating on terrestrial lands. In the case of residential developments, this typically relates to driveway and roof runoff.
- 3) **Perching sites for birds of prey:** Although there are no old growth trees on the subject property, the lack of continuous forest coverage on surrounding lots means that even smaller trees may provide important perching sites.

- 4) **Shade and microclimate:** Backshore vegetation plays an important role in moderating temperatures and maintaining moisture of substrates in the high intertidal zone.
- 5) **Food production:** Shoreline vegetation provides habitat for a wide variety of invertebrate species that form a significant portion of the prey base for marine wildlife – particularly forage fish and salmonids.
- 6) **Organic matter and large woody debris recruitment:** Properly functioning backshore vegetation provides a continuous supply of organic matter to the shoreline system in the form of logs, smaller wood, and leaf litter. This material drives primary food production, provides microhabitats for numerous invertebrate species, helps maintain and regulate moist microhabitats, and dissipates wave energy.

4.2 SHORELINE SETBACK AREA

A shoreline setback width of 20 m is being prescribed for the subject property, which is to be measured from the Present Natural Boundary of the shoreline (Figure 3). This distance is chosen to coincide with the approximate top of bank where the topography of the subject property flattens out. This vegetated setback will ensure that the steep slopes adjacent to the marine shoreline remain stable, and that all the functions listed in Section 4.1 remain intact.

The presence of eelgrass in the intertidal zone highlights the ecological significance of Spring Cove as fish rearing habitat, which is confirmed by the Department of Fisheries and Oceans' (DFO) Pacific herring (*Clupea pallasii*) spawn data for Barkley Sound¹². Within the DFO mapping data, Spring Cove is noted as an area of "High" to "Medium" importance for herring (Figure 7). Populations of herring have not been assigned a conservation status provincially¹³; however, population health of the West Coast Vancouver Island herring stock is currently rebuilding after historically low population numbers in the early 2000's, and biomass has not been sufficient for the DFO to permit a commercial fishery since 2005¹⁴.

Due to the known importance of Spring Cove to a commercially important species that is undergoing a population recovery, no disturbance should take place within the 20 m shoreline setback. As designed, the proposed development does not encroach into the recommended 20 m setback (Figure 3).

¹² Department of Fisheries and Oceans. (2016). *Section 232, West Barkley Sound Spawning Records*. <https://www.pac.dfo-mpo.gc.ca/science/species-especies/pelagic-pelagique/herring-hareng/herspawn/232fig-eng.html>

¹³ BC Ministry of Environment. (2022). *BC Species and Ecosystems Explorer for Clupea pallasii (Pacific Herring)*. <https://a100.gov.bc.ca/pub/eswp/reports.do?elcode=AFCA07030>

¹⁴ Department of Fisheries and Oceans. (2021). *Stock Status Update With Application of Management Procedures for Pacific Herring (Clupea pallasii) in British Columbia: Status in 2021 and Forecast for 2022*. https://publications.gc.ca/collections/collection_2021/mpo-dfo/fs70-7/Fs70-7-2021-039-eng.pdf

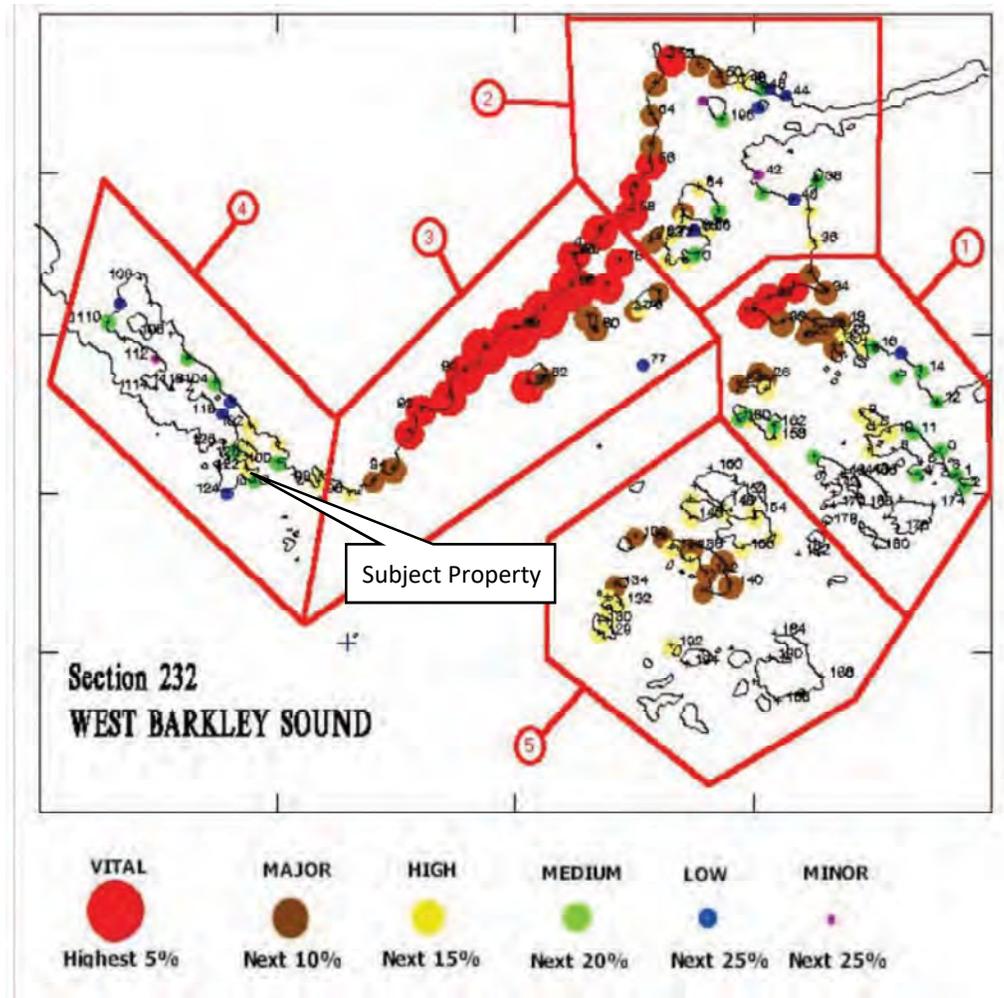


Figure 7: Known herring (*Clupea pallasii*) spawning locations in Barkley Sound. Spring Gove is shown on this map as high-medium importance. Map adapted from: <https://www.pac.dfo-mpo.gc.ca/science/species-especes/pelagic-pelagique/herring-hareng/herspawn/232fig-en>

4.3 VEGETATION RESTORATION AND INVASIVE SPECIES REMOVALS

The entire 20 m recommended shoreline setback is well vegetated with a native plant community. No enhancements are necessary to improve the slope stability or ecosystem functions provided by this setback, and therefore a landscaping plan is not recommended as part of this assessment.

Invasive species consisting primarily of Scotch broom were noted on the subject property adjacent to Boardwalk Boulevard outside of the MSDPA. This portion of the property will be highly disturbed during construction. It is recommended that during the site clearing phase, any vegetation or soils containing invasive plants be bagged and disposed of at a landfill to prevent further spread.

4.4 MITIGATION MEASURES DURING CONSTRUCTION

Biophysical Assessment – 259 Boardwalk Boulevard, Ucluelet, BC

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It will be important to implement mitigation measures during the construction of the new dwelling on the subject property to protect the sensitive backshore vegetation adjacent to the site. Mitigation measures during construction are provided in Appendix A.

5 CONCLUSION

Based on the results on this assessment, proposed development on the subject property can proceed without causing a net impact to the adjacent shoreline habitat for the following reasons:

- 1) There will be no construction, ground disturbance, or removal of trees or vegetation within the 20 m shoreline setback area on the subject property.
- 2) The new development will be entirely outside of the 20 m shoreline setback area.
- 3) As per Section 4.6 and Appendix A, any potential adverse effects during construction can be mitigated to result in no, negligible or minor harmful effects on aquatic resources. If mitigation measures are not implemented as intended harmful alterations may result.

6 CLOSURE

We trust this assessment has satisfied the requirement to determine the potential effects of the proposed development on the adjacent marine habitat at 259 Boardwalk Boulevard.

Please contact the undersigned with any questions or concerns.

Sincerely,



Jamie Godfrey, Technologist

and



Rupert Wong, R.P.Bio.

Current Environmental Ltd.

PHOTOS



Photo 1. 259 Boardwalk Boulevard as seen from Boardwalk Boulevard looking northeast towards Spring Cove. The thick vegetation coverage of the subject property is evident with Scotch broom being dominant adjacent to the roadside, and intact tree canopy towards the shoreline.



Photo 2. Vegetation seen at the top of bank on 259 Boardwalk Boulevard looking northeast towards Spring Cove. Vegetation cover was a mix of western hemlock and western redcedar trees with an understory dominated by salal.



Photo 3. Shoreline of the subject property looking northwest and showing the treeline of Hyphocus Island along the right hand side of the image.



Photo 4: Rock cliff delineating the intertidal zone from the backshore habitat at 259 Boardwalk Boulevard.



Photo 5. View of the shoreline of adjacent properties to the southeast.



Photo 6. Representative photograph of sediments found in the intertidal zone affronting 259 Boardwalk Boulevard.



Photo 7. Representative photograph of the beach of 259 Boardwalk Boulevard between 3 – 11 m.



Photo 8. The difference in the zones above and below the 11 m mark showing the abundance of sea lettuce and greater space between boulders below 11 m.



Photo 9. Eelgrass patches seen in the wetted portion of the intertidal zone adjacent to 259 Boardwalk Boulevard approximately 25 – 30 m from the high tide line.

Biophysical Assessment – 259 Boardwalk Boulevard, Ucluelet, BC
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Photo 10: Eelgrass noted in the upper tidal zone immediately to the south of the subject property at 259 Boardwalk Boulevard.



Photo 11. Typical vegetation within the backshore of 259 Boardwalk Boulevard.

APPENDIX A: MITIGATION MEASURES DURING CONSTRUCTION**Fuels and Hazardous Materials:**

The accidental release of petroleum, oils, hydraulic fluids, lubricants, concrete additives, anti-freeze or other hazardous materials onto land surfaces or into waterbodies is an offence under the Federal *Fisheries Act* and may result in degradation of habitat quality and could be a threat to human health. Machinery required for the proposed development will likely be limited to a generator to power hand tools, and trucks delivering materials to the site.

Environmental protection procedures for handling and storage of fuels and hazardous materials shall include the following items:

- 1) A spill kit of appropriate capacity will be on hand at all times heavy machinery or gas-powered tools are in use during construction.
- 2) All identified spills will be cleaned up immediately, and contaminated soils and vegetation will be removed for appropriate disposal.
- 3) Refueling of equipment is to occur only at designated fuelling stations and located at least 20 m from the shoreline.
- 4) All fuel, chemicals, and hazardous materials will be clearly marked.
- 5) Pumps and jerry cans are to be placed on poly sheeting and sorbent pads to contain spills.
- 6) All equipment maintenance with the potential for accidental spills (e.g., oil changes, lubrications) will be done on a designated area at least 20 m from the shoreline. Tarps should be laid down prior to commencement of work to facilitate clean up.
- 7) In the event of a spill, the following guidelines should be followed:
 - a. Spills to the receiving environment are to be reported to Emergency Management BC (1-800-663-3456) if they exceed the reportable limits (e.g. 100 liters of fuel or oil).
 - b. Apply sorbent pads and booms as necessary.
 - c. Dispose of all contaminated debris, cleaning materials, and absorbent material by placing in an approved disposal site.

Sediment and Erosion Control:

Specific measures to control sediment during construction will include:

- 1) Maintain/do not disturb vegetation within the prescribed 20 m shoreline setback.
- 2) Where there is a potential for silt runoff in the proximity of existing waterbodies, control devices will be installed prior to construction activities commencing.
- 3) Filter fabric dams, rock check dams, and silt fencing will be used as needed on a site-specific basis to control erosion. Filtration should be accomplished using filter fabric keyed into substrates and banks and elevated

using stakes or straw bales. Silt fencing is not an acceptable mitigation technique to control erosion in flowing ditches; however, it is useful for containing slumping areas and for use as baffles to slow water velocities.

- 4) Excavation will be stopped during intense rainfall events or whenever surface erosion occurs affecting nearby waterbodies.
- 5) Soil stockpiles will be placed a minimum of 20 m from any waterbody and in a location where erosion back into the marine environment cannot occur and will not impede any drainage.
- 6) Soil stockpiles with the potential to erode into waterbodies are to be covered with poly sheeting. Other techniques, such as terracing or surface roughening can greatly reduce surface erosion on steeper slopes.
- 7) Permanent exposed soil areas and erosion-prone slopes that may potentially erode into waterbodies are to be seeded or covered with geotextile.
- 8) Clearing will take place immediately prior to excavation and earthworks to minimize the length of time that soils are exposed. Vegetation in adjoining areas will not be disturbed.

Tree Protection:

All trees and native vegetation within the 20 m shoreline setback will need to be retained and protected, unless a tree is deemed hazardous by a certified arborist. Trees provide critical functions in backshore areas by providing shade, nutrient and leaf litter drop, large woody debris recruitment in both the foreshore and marine environments, and bank stability through their complex root networks. They also help retain soil and provide more favourable growing conditions for other understory shrubs and ground cover plants in the backshore area.

As previously described, there will be significant clearing of existing vegetation from portions of the subject property; however, there are no plans for any vegetation removal within the 20 m shoreline buffer zone. Specific measures to protect trees during development will include:

- 1) A root protection zone for all trees in the 20 m shoreline setback will be established prior to construction commencing. The root protection zone should be established at the edge of the drip line of trees within the 20 m shoreline setback. The root protection zone should be physically delineated and should be off-limits to machinery.
- 2) Machine access will be from the southwest side of the property.
- 3) Tree protection plans will be communicated to everyone on site prior to commencing construction.
- 4) If roots are encountered during construction, they should be first avoided if possible, and if they must be cut they should be cut cleanly with a saw as opposed to shattered with machinery.
- 5) Care should be taken not to break any limbs of trees within the 20 m shoreline setback during construction. If any limbs are accidentally broken, they should be cleanly cut with a saw.
- 6) Should any issues arise with regards to potential changes to the impact on trees during development, it is recommended that an arborist be retained to provide guidance on the least impact approach to development around trees.

SL A 196 BOARDWALK BLVD UCLUELET BC

SHEET LIST:

- A1 SITE PLAN
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTIONS AND DETAILS
- A6 PAIN SCREEN DETAILS
- A7 PAIN SCREEN DETAILS
- A8 PAIN SCREEN DETAILS
- A9 FOR UTILITY PLANS

PROJECT CONTACTS:

SUBCONTRACTORS:
 AG SURVEYS
 104-110 MARINE DRIVE
 SUITE 104
 VICTORIA BC V8W 2R4
 TEL: 250-544-6400
 Email: agsurveys@agsurveys.com

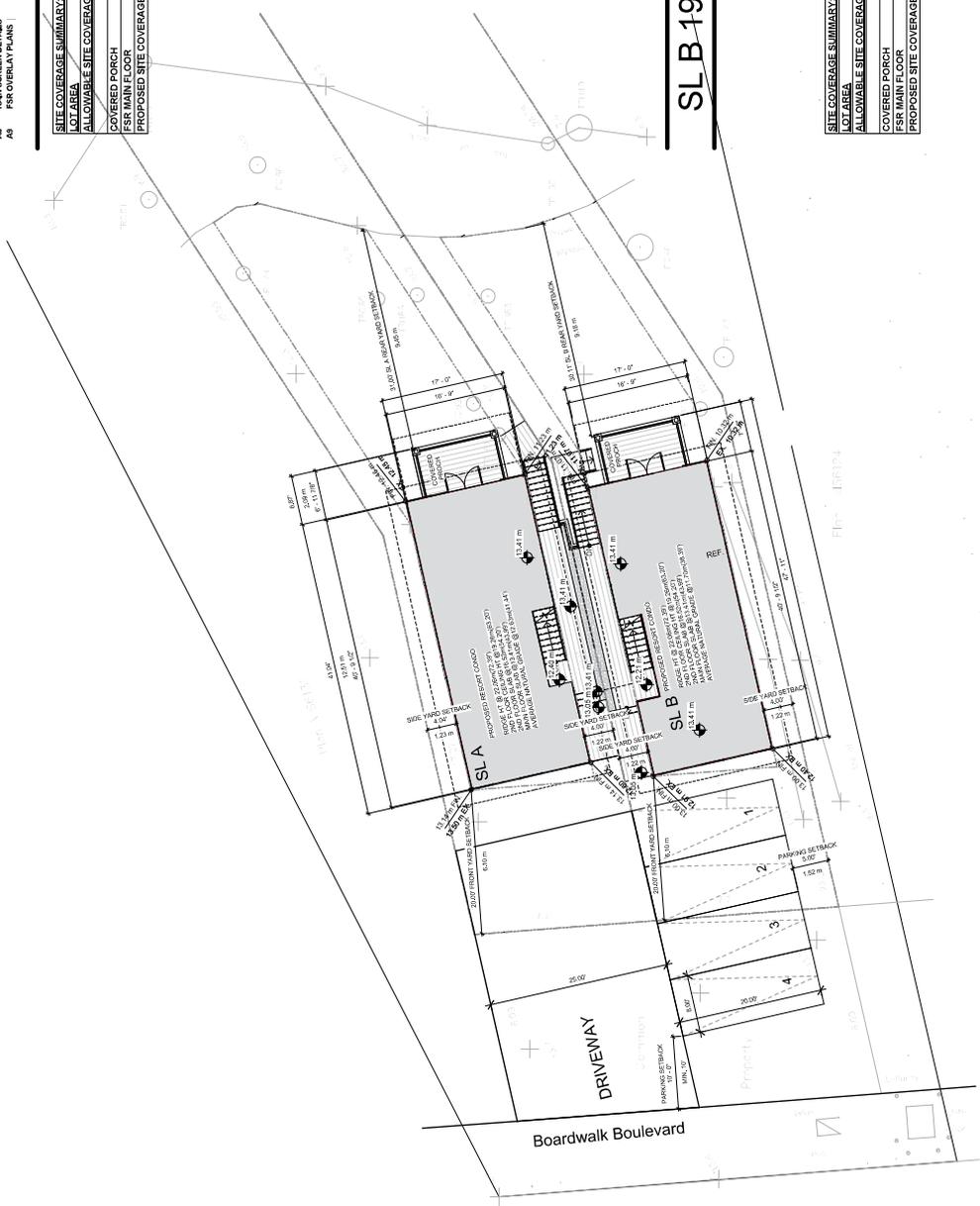
DESIGNER:
 ELITE DESIGN
 4250 HANCOCK BLVD SUITE 108
 VICTORIA BC V8N 3A8
 TEL: 250-599-8900
 Email: projects@elitedesign.com

PROJECT SUMMARY:

SITE COVERAGE SUMMARY (US/IA)	
LOT AREA	4480.28 SF
ALLOWABLE SITE COVERAGE (40.00%)	1792.11 SF
COVERED PORCH	80.83 SF 1.96%
FSR MAIN FLOOR	645.33 SF 15.64%
PROPOSED SITE COVERAGE:	726.17 SF 17.59%

ZONING DISTRICT:	CS-5
PROPOSAL:	RESORT CONDO
LEGAL DESCRIPTION:	SL B 196 BOARDWALK BLVD UCLUELET BC
LEGAL DESCRIPTION:	STRATA LOTS A and B, SECTION 21 CLAYCOOD DIST. PLAN V86125
SL-A LOT AREA:	4430.715 SF

SL-A	PERMITTED:	70%	PROPOSED:
SL-A FSR:	2851.62 SF	UPPER FLOOR	632.17 SF
		MAIN FLOOR	865.32 SF
		BASEMENT	736.77 SF
SL-A SITE COVERAGE:	1852.00 SF	48%	17.59%
FRONT YARD:	20'	6m	E 23.57/25.80'
SIDE YARD:	4'	1.2m	4'
REAR YARD:	10'	3m	31'
BUILDING HEIGHT:	39'	12m	30.98'
FRONT YARD:	20'	6m	26.92'
SIDE YARD:	4'	1.2m	11.83'
REAR YARD:	10'	3m	29.88'
BUILDING HEIGHT:	39'	12m	14.89m



SL B 196 BOARDWALK BLVD UCLUELET BC

ZONING DISTRICT:	CS-5
PROPOSAL:	RESORT CONDO
LEGAL DESCRIPTION:	SL B 196 BOARDWALK BLVD UCLUELET BC
LEGAL DESCRIPTION:	STRATA LOTS A and B, SECTION 21 CLAYCOOD DIST. PLAN V86125
SL-B LOT AREA:	4428.88 SF

SITE COVERAGE SUMMARY (US/IA)	
LOT AREA	4428.88 SF
ALLOWABLE SITE COVERAGE (40.00%)	1771.55 SF
COVERED PORCH	83.07 SF 1.97%
FSR MAIN FLOOR	647.38 SF 15.32%
PROPOSED SITE COVERAGE:	730.38 SF 17.29%

SL-B	PERMITTED:	70%	PROPOSED:
SL-B FSR:	2957.02 SF	UPPER FLOOR	632.17 SF
		MAIN FLOOR	865.32 SF
		BASEMENT	730.38 SF
SL-B SITE COVERAGE:	1688.58 SF	48%	17.29%
FRONT YARD:	20'	6m	6m
SIDE YARD:	4'	1.2m	26.92'
REAR YARD:	10'	3m	11.83'
BUILDING HEIGHT:	39'	12m	29.88'

CONTRACT NO: 2023.03.23

DATE: 2023.03.23

PROJECT: SL A, SL B 196 BOARDWALK BLVD UCLUELET BC

PROJECT NORTH

AS NOTED

AS NOTE

DATE: 2023.03.23

PROJECT: 2023.03.23

Author

SITE PLAN

SL A, SL B 196 BOARDWALK BLVD UCLUELET BC

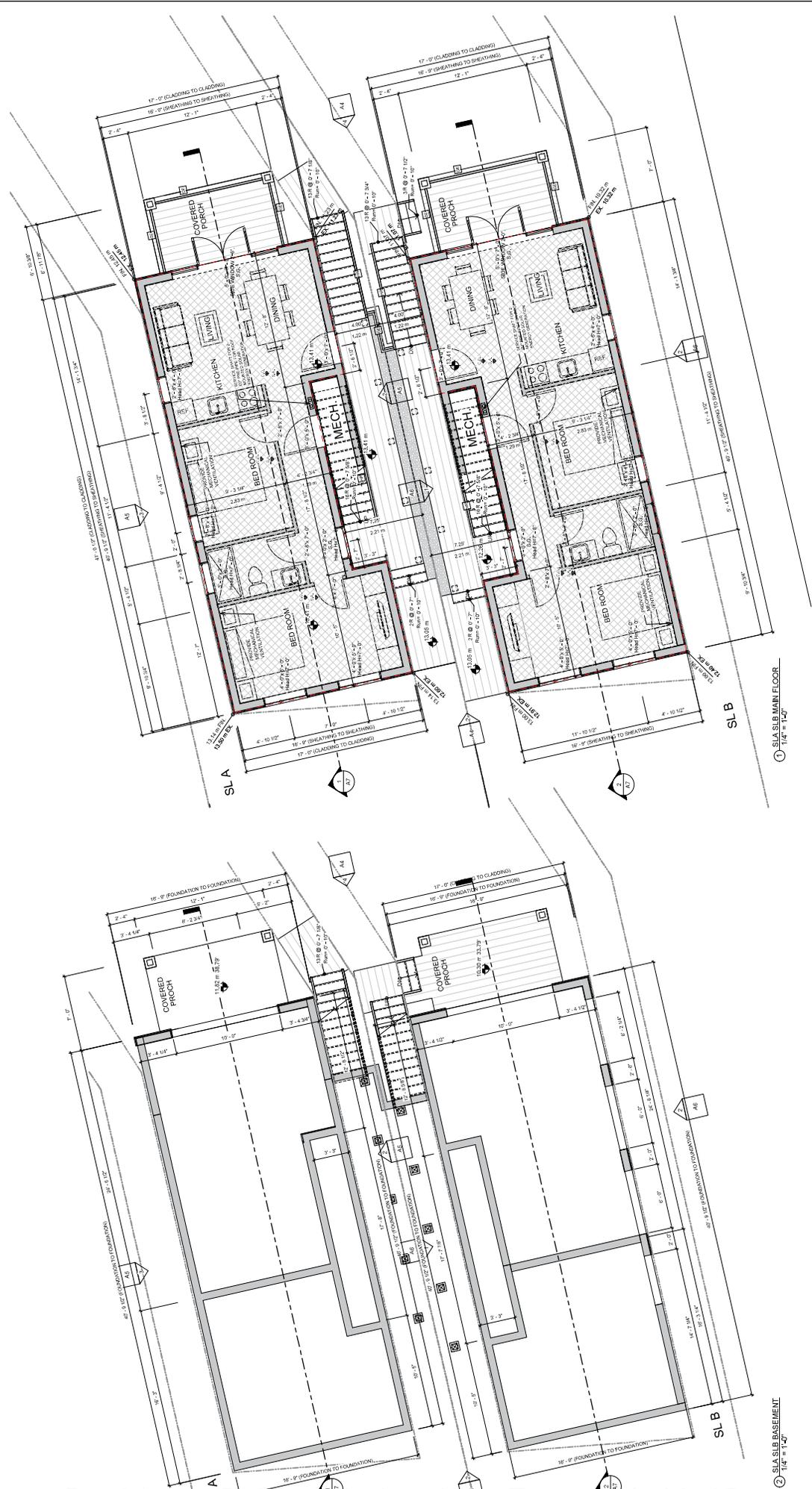
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Appendix A



NO.	REVISION	DATE
1	ISSUE FOR PERMIT	2023.03.23

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- HEATING SYSTEM: AIR TO WATER HEAT PUMP
- LEGEND:
- U.L.C. LABELLED METAL GAS FIREPLACE INSERT
 - 3/4"TH GUARDRAIL (EXTERIOR)
 - 3/4"TH GUARDRAIL (INTERIOR)
 - 3/4"TH HANDRAIL
 - SMOKE ALARM
 - CARBON MONOXIDE ALARM
 - FLOOR CHAIR
 - SMOKE ALARM (AS PER BC FIRE CODE)
 - ROOF MOUNTED SOLAR ENERGY GENERATION (PER BC FIRE CODE)
 - R22 BATT INSULATION UNDER LIVING SPACE ABOVE UNSEAT BASEMENT (PER BC FIRE CODE)

NOTE:
ALL WINDOWS, SLIGHTS AND OTHER GLASS MUST COMPLY WITH THE BC BUILDING CODE, 2012 EDITION, MANUFACTURER'S LABEL CONFIRMING CANADIAN NFPA PERFORMANCE CRITERIA ARE REQUIRED ON EACH UNIT AT TIME OF INSPECTION.

NOTE:
ALL WINDOWS, SLIGHTS AND OTHER GLASS MUST COMPLY WITH THE BC BUILDING CODE, 2012 EDITION, MANUFACTURER'S LABEL CONFIRMING CANADIAN NFPA PERFORMANCE CRITERIA ARE REQUIRED ON EACH UNIT AT TIME OF INSPECTION.

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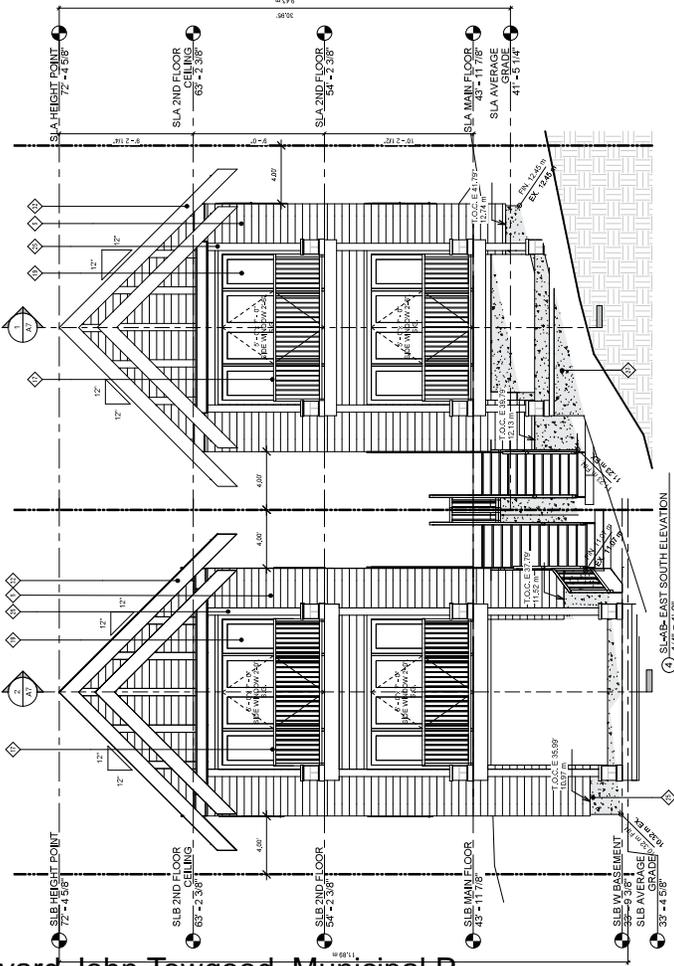
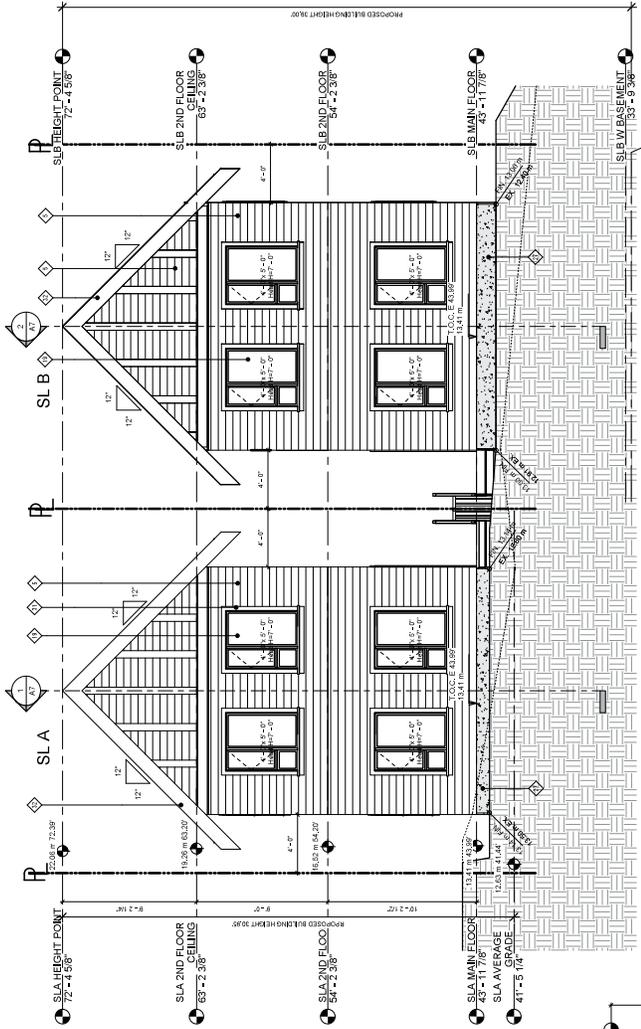
ELEVATIONS

SLA, SLB 196
BOARDWALK BLVD
UCCLELET BC

PROJECT NORTH

Qty	Material	Approximate Feet
5	WALL BOARD SIDING	
19	WALL BOARD SIDING	
19	WALL BOARD SIDING	
25	WALL BOARD SIDING	
27	WALL BOARD SIDING	
31	WALL BOARD SIDING	
32	WALL BOARD SIDING	

- TYPICAL ELEVATION CONSTRUCTION NOTES**
- WALL CLADDING TO BE ON RAIN SCREEN (MIN. 10mm STRAPPING) U.N.C.
 - FLASHING TO BE INSTALLED OVER ALL WINDOW AND DOOR OPENINGS
 - FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - FLASHINGS TO BE MIN. 2% SLOPE AND HAVE END DAMS
 - ALL WINDOW AND DOOR OPENINGS TO BE FINISHED WITH INTERIOR WALL FINISHES
 - ALL WINDOW OPENERS TO BE CONFORMED BY THE OWNER
 - DOORS TO CONFORM TO SECTION S6 OF THE BUILDING CODE
 - WINDOWS TO CONFORM TO SECTION S7 OF THE BUILDING CODE



GENERAL OPERATIONAL NORTH
AGGREGATE AREA OF UNPROTECTED OPENINGS:
NORTH ELEVATION: 103 SQ.FT. ± 4862.79 SQ.FT.
WEST ELEVATION: 103 SQ.FT. ± 4862.79 SQ.FT.
NORTHWEST ELEVATION: 103 SQ.FT. ± 4862.79 SQ.FT.
PROPOSED: 103 SQ.FT.
MAXIMUM: 103 SQ.FT.
MINIMUM: 103 SQ.FT.
PROPOSED: 103 SQ.FT.
MAXIMUM: 103 SQ.FT.
MINIMUM: 103 SQ.FT.

REV	DATE	DESCRIPTION
1	2023.03.23	ISSUE FOR BP

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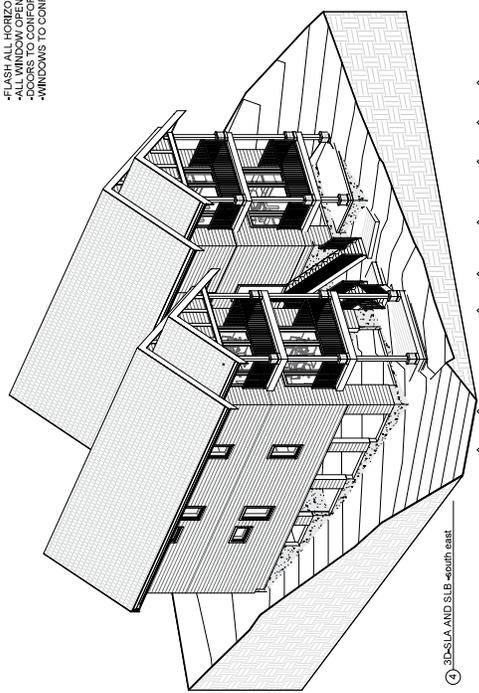
1	RESUME FOR BP

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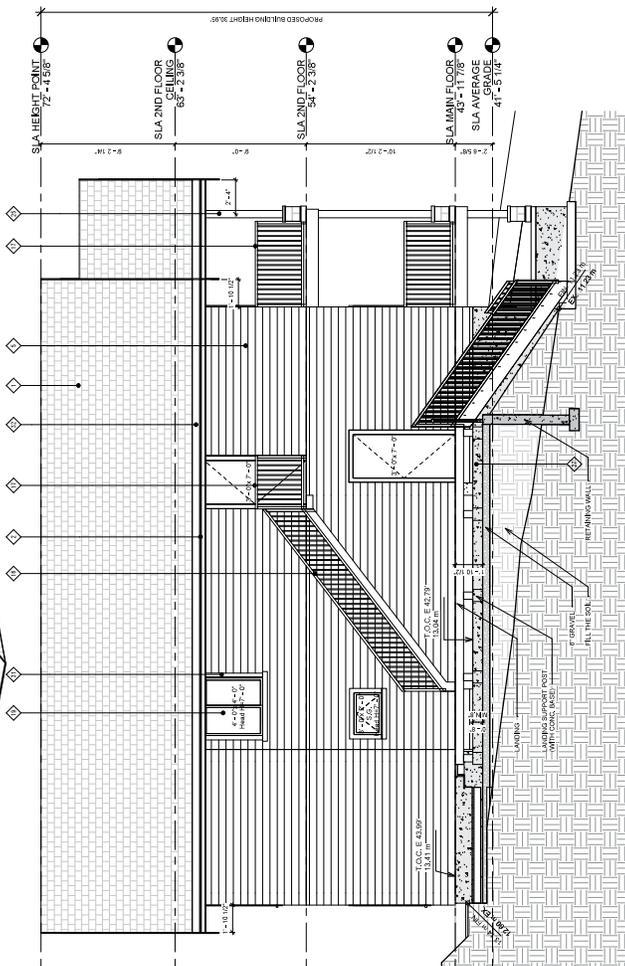
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- TYPICAL ELEVATION CONSTRUCTION NOTES**
- WALL CLADDING TO BE ON BAIN SCREEN (MIN. 10mm STRAPPING) U.L.N.O.
 - CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
 - FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - FLASH ALL UNPROTECTED EXTERIOR ROOF DRAINS
 - FLASH ALL HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES
 - ALL WINDOW OPENERS TO BE CONFIRMED BY THE OWNER
 - ADOCKS TO CONFORM TO SECTION 3.8.6 OF THE BUILDING CODE
 - WINDOWS TO CONFORM TO SECTION 6.1 OF THE BUILDING CODE

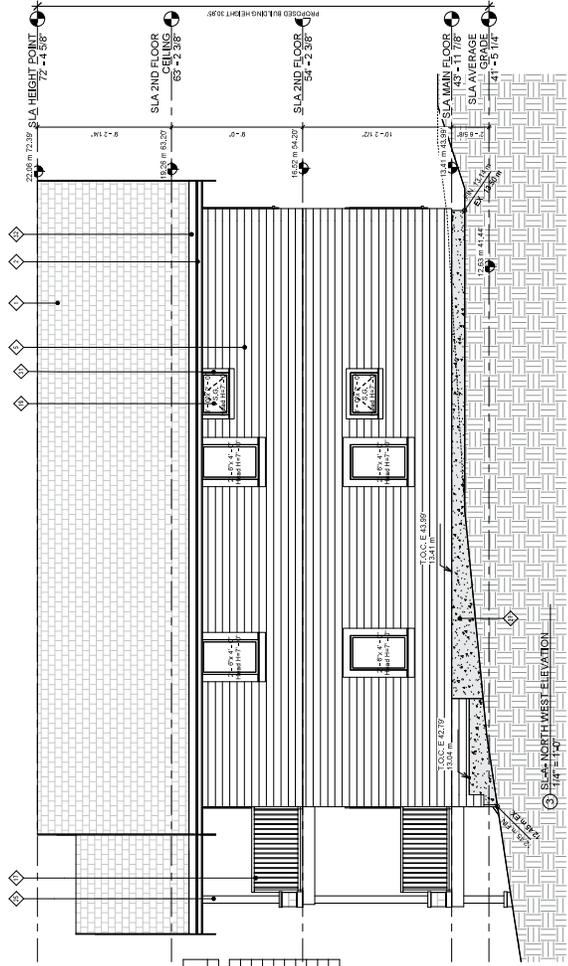
KEY / VALUE	KEYWORD / TEXT
1	ASPHALT SINGLE ROOFING
2	5" GUTTER
5	HARDIE BOARD SIDING
12	1/2" ALUMINUM BRIMS
17	42" H. ALUMINUM BRIMS
19	MINT FRAME WINDOW W/LOW E GLASS
21	CONCRETE W/BLACK MERIC COATING FINISH
27	4" WINDOW TRIM
31	15X7 FASCIA BOARD
32	



④ 3D-SLA AND SLB -south east

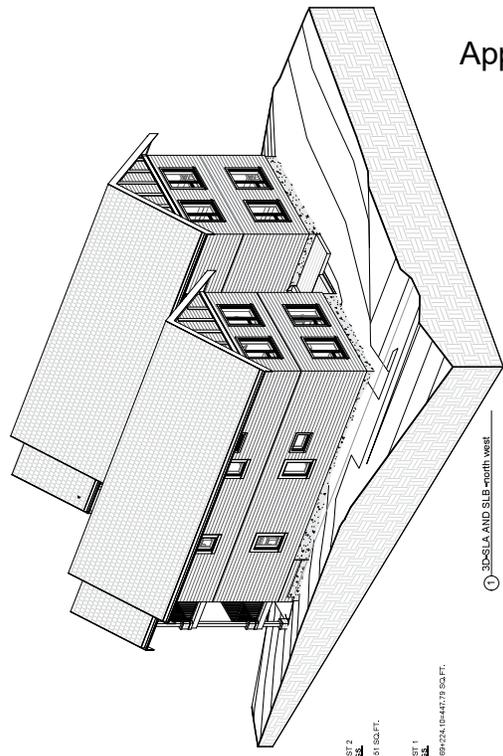


③ SLA SOUTH EAST ELEVATION
1/4" = 1'-0"



③ SLA NORTH WEST ELEVATION
1/4" = 1'-0"

GENERAL SEPARATION WALL ASSEMBLY
AGGREGATE AREA OF BLANK GREEN WALL
MAXIMUM HEIGHT: 10'-0" (3.05M)
MAXIMUM AREA: 10'-0" x 10'-0" (100.00 SQ.FT.)
PROPOSED: 8'-0" x 10'-0" (80.00 SQ.FT.)



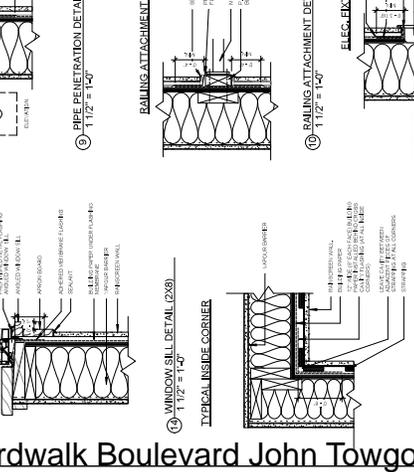
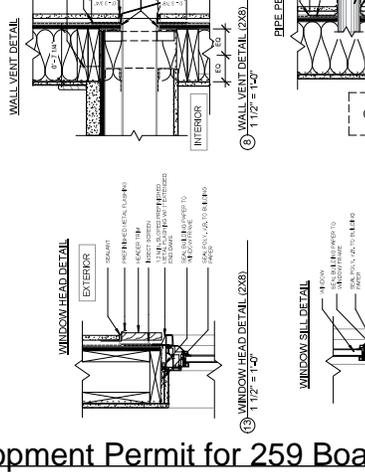
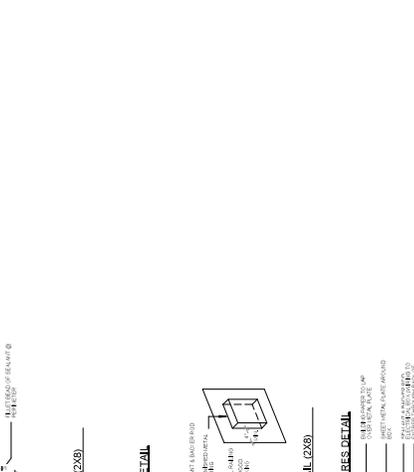
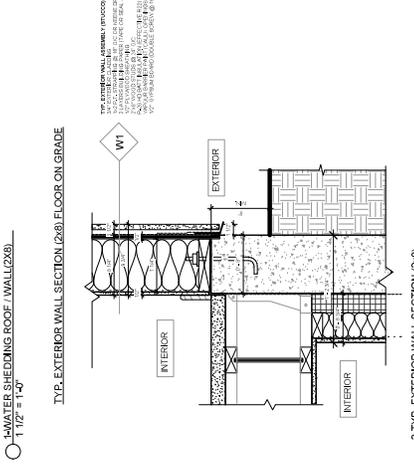
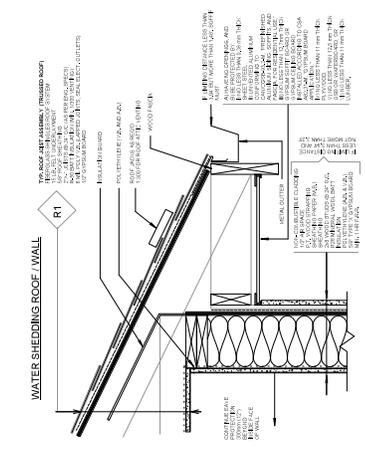
① 3D-SLA AND SLB -west

GENERAL SEPARATION WALL ASSEMBLY
AGGREGATE AREA OF BLANK GREEN WALL
MAXIMUM HEIGHT: 10'-0" (3.05M)
MAXIMUM AREA: 10'-0" x 10'-0" (100.00 SQ.FT.)
PROPOSED: 8'-0" x 10'-0" (80.00 SQ.FT.)

REV	DATE	DESCRIPTION
1	2023.03.23	ISSUE FOR BP

CONTRACTOR RESPONSIBILITY
The client and design team shall remain the exclusive property of ELITE DESIGN and cannot be used or reproduced without written permission of ELITE DESIGN. All dimensions shall be provided from the dimensions and conditions on the drawings.

PROJECT NORTH





DEVELOPMENT PERMIT DP22-10

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:
Haoli Investments LTD INC No BC1271993, 4560 Fisher Drive, Richmond, BC V6X 3V6
(The "Permittee")

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:
259 Boardwalk Boulevard, strata Lot B, section Lot 21, Clayoquot District. Strata Plan VIS6125
(The "Lands").

3. This Permit authorizes the following improvements on the Lands:
Construction of a 2-unit resort condominium building and associated landscaping.
4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as **Schedule 1**.
5. The permittee, as a condition of issuance of this Permit, agrees to comply with the environmental requirements and conditions of the Environmental report in **Schedule 1** and as redefined in **Schedule 2**.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect fencing or otherwise demarcate the no-disturbance area within 20m of the shoreline, and contact the District of Ucluelet to arrange a pre-construction inspection.
7. Prior to issuance of a Building Permit for the proposed development, the owner is to provide a detailed landscape plan co-ordinated with the neighbouring development and providing screening of parking areas, for review and approval by the Director of Community Planning.
8. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
9. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
10. The permittee shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
11. This Permit is NOT a Building Permit.
12. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2022 .
ISSUED the day of , 2022.

Bruce Greig
Director of Community Planning



Schedule 1

(see appendix A)



Schedule 2 Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Mitigation Measures, determined by Qualified Environmental Professional as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property:

Fuels and Hazardous Materials:

The accidental release of petroleum, oils, hydraulic fluids, lubricants, concrete additives, anti-freeze or other hazardous materials onto land surfaces or into waterbodies is an offence under the Federal *Fisheries Act* and may result in degradation of habitat quality and could be a threat to human health. Machinery required for the proposed development will likely be limited to a generator to power hand tools, and trucks delivering materials to the site.

Environmental protection procedures for handling and storage of fuels and hazardous materials shall include the following items:

- 1) A spill kit of appropriate capacity will be on hand at all times heavy machinery or gas-powered tools are in use during construction.
- 2) All identified spills will be cleaned up immediately, and contaminated soils and vegetation will be removed for appropriate disposal.
- 3) Refueling of equipment is to occur only at designated fuelling stations and located at least 20 m from the shoreline.
- 4) All fuel, chemicals, and hazardous materials will be clearly marked.
- 5) Pumps and jerry cans are to be placed on poly sheeting and sorbent pads to contain spills.
- 6) All equipment maintenance with the potential for accidental spills (e.g., oil changes, lubrications) will be done on a designated area at least 20 m from the shoreline. Tarps should be laid down prior to commencement of work to facilitate clean up.
- 7) In the event of a spill, the following guidelines should be followed:
 - a. Spills to the receiving environment are to be reported to Emergency Management BC (1-800-663-3456) if they exceed the reportable limits (e.g. 100 liters of fuel or oil).
 - b. Apply sorbent pads and booms as necessary.
 - c. Dispose of all contaminated debris, cleaning materials, and absorbent material by placing in an approved disposal site.

Sediment and Erosion Control:

Specific measures to control sediment during construction will include:

- 1) Maintain/do not disturb vegetation within the prescribed 20 m shoreline setback.
- 2) Where there is a potential for silt runoff in the proximity of existing waterbodies, control devices will be installed prior to construction activities commencing.
- 3) Filter fabric dams, rock check dams, and silt fencing will be used as needed on a site-specific basis to control erosion. Filtration should be accomplished using filter fabric keyed into substrates and banks and elevated using stakes or straw bales. Silt fencing is not an acceptable mitigation technique to control erosion in flowing ditches; however, it is useful for containing slumping areas and for use as baffles to slow water velocities.
- 4) Excavation will be stopped during intense rainfall events or whenever surface erosion occurs affecting nearby waterbodies.
- 5) Soil stockpiles will be placed a minimum of 20 m from any waterbody and in a location where erosion back into the marine environment cannot occur and will not impede any drainage.



- 6) Soil stockpiles with the potential to erode into waterbodies are to be covered with poly sheeting. Other techniques, such as terracing or surface roughening can greatly reduce surface erosion on steeper slopes.
- 7) Permanent exposed soil areas and erosion-prone slopes that may potentially erode into waterbodies are to be seeded or covered with geotextile.
- 8) Clearing will take place immediately prior to excavation and earthworks to minimize the length of time that soils are exposed. Vegetation in adjoining areas will not be disturbed.

Tree Protection:

All trees and native vegetation within the 20 m shoreline setback will need to be retained and protected, unless a tree is deemed hazardous by a certified arborist. Trees provide critical functions in backshore areas by providing shade, nutrient and leaf litter drop, large woody debris recruitment in both the foreshore and marine environments, and bank stability through their complex root networks. They also help retain soil and provide more favourable growing conditions for other understory shrubs and ground cover plants in the backshore area.

As previously described, there will be significant clearing of existing vegetation from portions of the subject property; however, there are no plans for any vegetation removal within the 20 m shoreline buffer zone. Specific measures to protect trees during development will include:

- 1) A root protection zone for all trees in the 20 m shoreline setback will be established prior to construction commencing. The root protection zone should be established at the edge of the drip line of trees within the 20 m shoreline setback. The root protection zone should be physically delineated and should be off-limits to machinery.
- 2) Machine access will be from the southwest side of the property.
- 3) Tree protection plans will be communicated to everyone on site prior to commencing construction.
- 4) If roots are encountered during construction, they should be first avoided if possible, and if they must be cut they should be cut cleanly with a saw as opposed to shattered with machinery.
- 5) Care should be taken not to break any limbs of trees within the 20 m shoreline setback during construction. If any limbs are accidentally broken, they should be cleanly cut with a saw.
- 6) Should any issues arise with regards to potential changes to the impact on trees during development, it is recommended that an arborist be retained to provide guidance on the least impact approach to development around trees.



REPORT TO COUNCIL

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOHN TOWGOOD, MUNICIPAL PLANNER

FILE NO: 3060-20-DP22-11

SUBJECT: DEVELOPMENT PERMIT FOR 261 BOARDWALK BOULEVARD

REPORT NO: 22-165

ATTACHMENT(S): Appendix A - Application
Appendix B - Permit

RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Development Permit 22-11 for the property at 261 Boardwalk Boulevard to allow a two-unit resort condo building and associated landscaping.

BACKGROUND:

Note: This proposal is in many ways identical to the proposal considered in DP22-10 and the report and permit are consequently very similar.

This development permit was received May 18, 2022, with the environmental report being received August 23, 2022. The application is for a 2-unit resort condominium building and associated landscaping at 261 Boardwalk Boulevard, strata Lot A, section Lot 21, Clayoquot District. Strata Plan VIS6125 (the **Subject Property**).



Figure 1 – The subject property

The subject property is a vacant waterfront lot fronting spring cove. It is generally flat at street level and clear of vegetation for the first 30m back from the road (**Figure 2**) then property slopes promptly down (about 10.5m) towards the water. The waterfront area (within 20m of the natural boundary) is forested and is in a natural state. There is a greenspace covenant on title of the subject property protecting an area extending 15m back from the natural boundary.



Figure 2 – Streetview image of the subject property frontage

OCP:

[Section 488\(1\) of the Local Government Act](#) allows local governments to designate Development Permit Areas for a variety of purposes. In Ucluelet Development Permit Areas are designated within the [Official Community Plan](#) and the relevant objectives for this application are:

- The form and character of development in a resort region.
- The protection of the natural environment, its ecosystems and biological diversity.

FORM AND CHARACTER - MULTI-FAMILY, COMMERCIAL & MIXED-USE (DPA IV):

Form and Character Development Permit Areas are established to guide development and land use to ensure a pedestrian-oriented, compact, and vibrant community which maintains its coastal village character.

Building Design

The applicant is proposing a two unit, up / down resort condo building located to the front of the subject property. The building is rectangular with a medium slope gable roof. The front façade is unadorned with

two rows of narrow windows. The entrance of the two units occurs to side of the building. The building's exterior materials consist of grey horizontal Hardie cement board siding, cedar trim, aluminium railing, and black asphalt shingles.

The DPA guidelines generally encourage that entrances face the property frontage and that the front facade hold interest and detail. Given the limitations of these small narrow lots, the variations in the built environment already built on the street, and that traditional fishing village homes often had a somewhat unadorned facade with narrow windows and side entrances (see **Figure 3**), the proposal is found to be consistent the Development Permit (**DP**) guidelines.



Figure 3 – Fishing Village vernacular

Landscaping

The applicant is proposing minimal landscaping directly in front of the units consisting of one dwarf cypress tree and 12 ponytail grasses.

Staff note that the parking layout is shown differently on the landscape plan and site plan. Staff have added a condition to the DP stipulating that a final landscape plan be submitted for review and approval, coordinating with the adjacent development and providing some screening of the parking area. Given the limitations of these small narrow lots and the landscaping of the surrounding properties, with minor adjustments to screen parking areas the proposal would be consistent the Development Permit (DP) guidelines.

ENVIRONMENTAL - MARINE SHORELINE (DPA VII):

Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities. For all land lying within an Environmental DP area, an assessment of the site, its natural features and the development must be undertaken, and the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) establishing conditions for development. Staff draft the associated development permit terms and conditions from the recommendations in the QEP's report. The subject property falls within the Marine Shoreline Development Permit Areas, which includes lands within 30m above and below the natural boundary of the sea.

The applicant has submitted an environmental assessment by Current Environmental dated August 23, 2022. This report has identified that the building site is clear of key environmental features but the area

within 20m from the natural boundary should not be disturbed. The report provided mitigation measure to be implemented during construction and these measures will form part of the development permit.

ZONING:

The subject property is designated as being in the CS-5 Tourist Commercial zone. From the information supplied, the proposal meets this zoning.

WATERFRONT TRAIL:

In the original 1998 subdivision proposal for this area, one of the amenities promised to the community was a public waterfront trail or boardwalk along the shoreline of Spring Cove. At that time a statutory right-of-way was registered on the title of all waterfront properties to secure the public trail. The 1998 right-of-way was poorly written, incorrectly placing the onus of maintaining the public boardwalk trail (and associated liability) on private property owners. Many of the property owners in this area have welcomed the idea of an interconnecting public waterfront trail and have signed a replacement right-of-way that would properly enable its construction. The recently-completed first phase of the Spring Cove trail is located in such new rights-of-way.

The applicant has expressed an interest in the replacement right-of-way and is currently reviewing the relevant terms and conditions.

FIRE PROTECTION:

The subject property is serviced by a hydrant 50m away. Fire protection would be approached from the street consistent with the other buildings in this area.

SERVICING:

The subject property is fully serviced, and the scale of this proposal was anticipated in the original subdivision.

ANALYSIS OF OPTIONS:

A	Authorize the issuance of Development Permit 22-11	<u>Pros</u>	<ul style="list-style-type: none"> Allows applicant’s development to proceed in a manner which is deemed consistent with the OCP development permit guidelines.
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> Approval will allow the application to proceed.
B	Provide alternative direction	<u>Pros</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Cons</u>	<ul style="list-style-type: none"> Unknown at this time
		<u>Implications</u>	<ul style="list-style-type: none"> Unknown at this time

C	<u>Suggested Motion</u>	THAT Council, with regard to Development Permit 22-11, <i>(provide alternative direction here)</i>
	<u>Pros</u>	<ul style="list-style-type: none"> Unknown at this time
	<u>Cons</u>	<ul style="list-style-type: none"> Does not allow applicant's development to proceed.
	<u>Implications</u>	<ul style="list-style-type: none"> The application would not proceed. Additional staff time will be required to follow up with applicant and consultants. If rejecting the application, Council should state which DPA guidelines are not being adequately met buy the current proposal.
	<u>Suggested Motion</u>	THAT Council reject the application for Development Permit 22-11

POLICY OR LEGISLATIVE IMPACTS:

This application is consistent with the Official Community Plan, the Zoning Bylaw and the Local Government Act.

NEXT STEPS:

If this application is approved the attached DP will be signed by the Director of Community Planning, issued to the applicant, and notice will be filed with the Land Title Office.

The applicant or subsequent owners of the subject property would be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted:

JOHN TOWGOOD, MUNICIPAL PLANNER
 BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING
 DUANE LAWRENCE, CAO



To:	Lynn Lee, Property Developer	Date:	August 23, 2022
From:	Jamie Godfrey, Technologist Rupert Wong, R.P.Bio.	Pages:	23
Cc:	District of Ucluelet Planning	Project:	

RE: ASSESSMENT REPORT – 261 Boardwalk Boulevard, Ucluelet, BC

This letter report is intended to inform the District of Ucluelet (DOU) of the current biophysical state of the subject property at 261 Boardwalk Boulevard. There is a Marine Shoreline Development Permit Area (MSDPA) on the subject property relating to the marine shoreline of Spring Cove (Figure 1). The DOU Bylaw No. 1306¹ requires that an assessment report be prepared by a Qualified Environmental Professional (QEP) prior to development occurring within the 30 m MSDPA. The property owners will be undertaking the construction of a new resort condo within the 30 m MSDPA on their property. As such, this report satisfies the requirements of the DOU Bylaw 1306 for an assessment report.

NOTE: This report forms one half of a pair of assessment reports for two properties (259 and 261 Boardwalk Boulevard) that are immediately adjacent and relatively small in size, covering a combined width of 16 m. As such, there are many similarities between the two reports.

This report is divided into the following categories:

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3.3	Watercourses and Wetlands	10
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¹ District Of Ucluelet. (2022). *Bylaw No. 1306, 2022: A bylaw to adopt "District of Ucluelet Official Community Plan 2022."*
<https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan>

4.1	Importance of Backshore Habitat	12
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1 INTRODUCTION

The subject property is a 0.04-hectare property located along the marine shoreline of Spring Cove across from Hyphocus Island. The civic address of the property is 261 Boardwalk Boulevard, and the PID is 026-843-536. It lies south of the Ucluelet town center in an area zoned CS-5 – Tourist Commercial, which is “intended to provide for tourist commercial accommodations and other related recreational and primarily tourist commercial uses”. Development is ongoing in the neighborhood; however, and the subject property is currently undeveloped and well vegetated. The proposed development for the property is the construction of a new resort condo.

The objectives of this assessment report are to:

1. Delineate and describe the shoreline habitat on the subject property;
2. Provide advice and recommendations on appropriate siting of development on the subject property;
3. Identify sensitive habitats and species on the subject property that require protection;
4. Provide mitigation measures to protect the shoreline and any other sensitive habitats and species during development; and
5. Prescribe habitat enhancements and invasive species removals where applicable.



Figure 1. Location of the subject property and the 30 m Marine Shoreline Development Permit Area (Grey dashed lines).

1.1 PROPOSED DEVELOPMENT

The subject property is currently undeveloped and completely vegetated (Photo 1). Proposed work on the subject property includes the construction of a brand-new resort condo (Figure 2). The proposed condo will have two identical floors representing two separate units, each with two bedrooms (Figure 3). Lot coverage for the proposed development will be 763.65 square feet which represents approximately 18.5% of an allowable 40%. These calculations include the proposed condo and exterior porches and stairways, but do not include other hardened surfaces such as driveways or walkways on the property. Development of the subject property will require clearing, grubbing, and grading of land within the development footprint prior to construction.

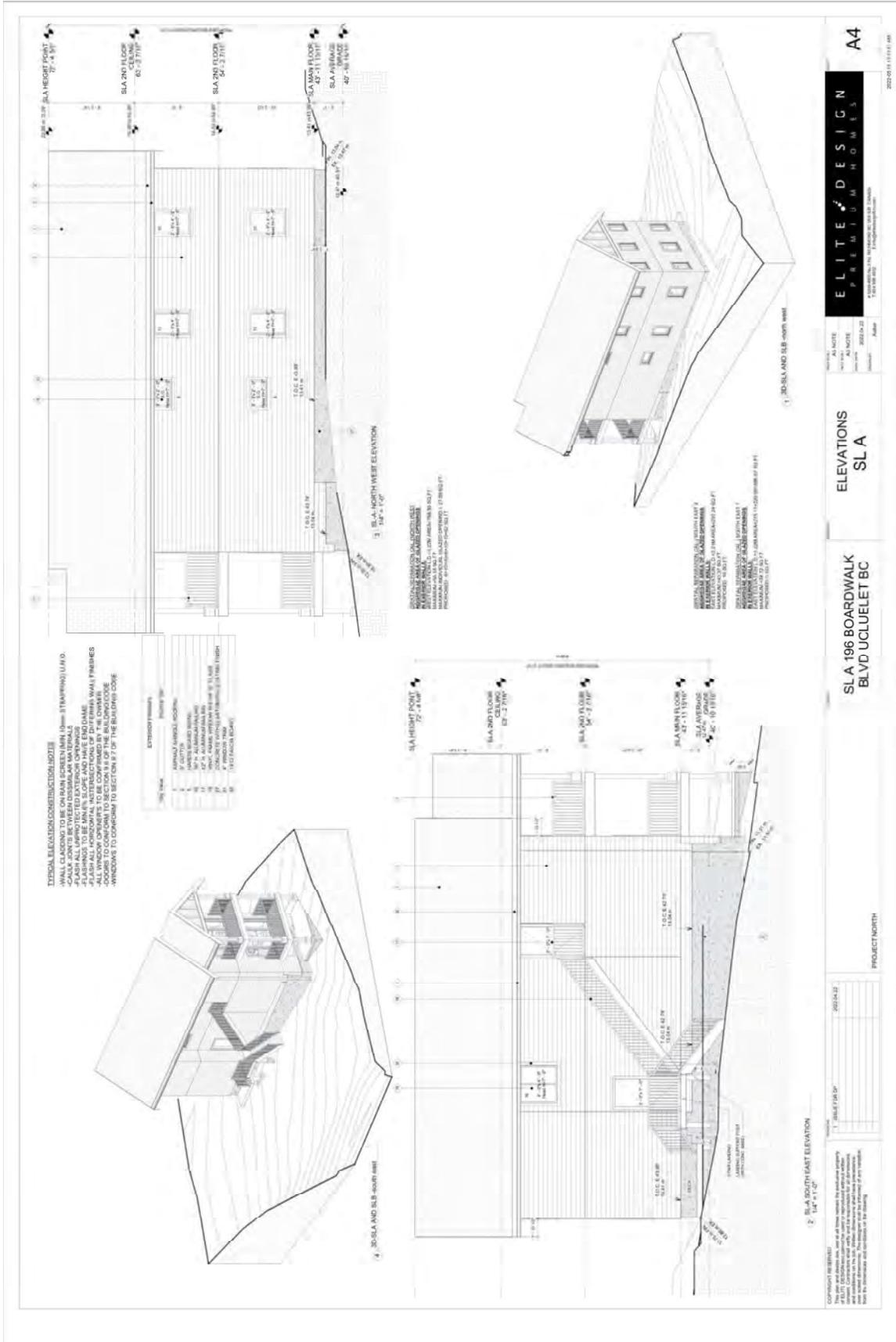


Figure 3: Proposed exterior design of the resort condo at 261 Boardwalk Boulevard.



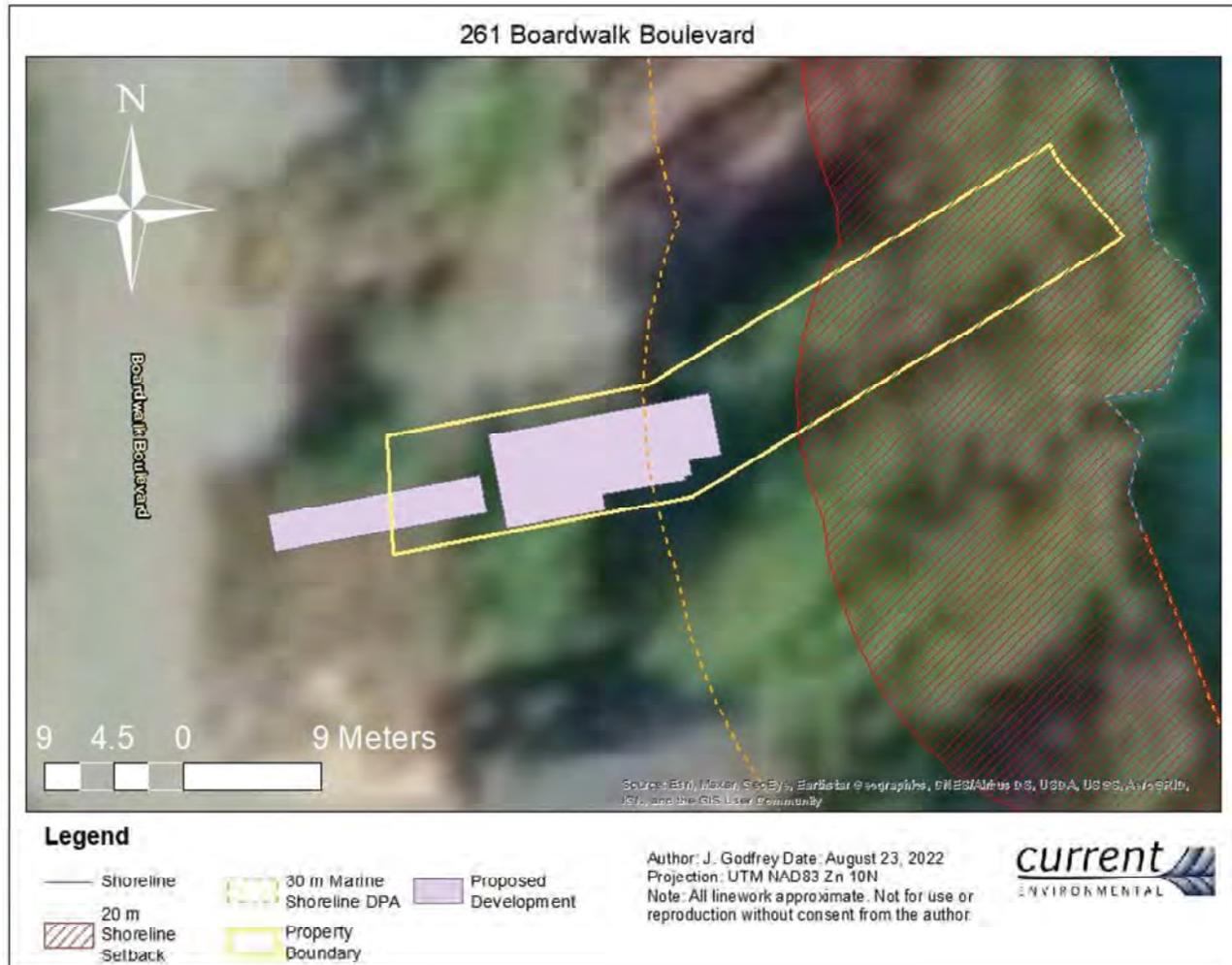


Figure 4: Location of the proposed development in relation to the 30 m MSDPA and 20 m Shoreline setback

2 METHODOLOGY

2.1 BACKGROUND REVIEW

Background information on Environmentally Sensitive Areas (ESAs) located within or in proximity to the subject property was obtained using the following sources:

- 1) Conservation Data Center (CDC)
- 2) District of Ucluelet Mapping (UkeeMap)
- 3) Wildlife Tree Stewardship atlas (WiTS)
- 4) Great Blue Heron Atlas
- 5) Species at Risk Act (SARA) database
- 6) Aerial photographs

2.2 FIELD ASSESSMENT

A ground-level assessment of aquatic/terrestrial habitats and species was conducted on July 29, 2022. The entire property was walked to ensure that all Environmentally Sensitive Areas (ESAs) were mapped; however, the assessment focused on the marine shoreline and the proposed development in the 30 m MSDPA. The following sections provide additional detail on specific inventory methods.

2.2.1 Marine Shoreline

The site survey was timed to coincide with a mid to low tide, to observe the intertidal areas adjacent to the subject property. Backshore vegetation was documented, and observations were made on the current functions of the backshore habitat on the marine shoreline. Sampling for fish/egg presence was not completed as part of this assessment. Methodologies to complete the marine shoreline assessment were based primarily on those outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*².

For the purposes of this assessment, the habitat inventory affecting the subject property has been limited to the upper intertidal zone (from the mid-tide range to the high-water mark), the supralittoral zone (otherwise known as the splash zone which would only receive water/sediment during storm events), and the backshore zone (extending from the supralittoral zone to outer edge of the 30 m wide MSDPA for the marine shoreline).

2.2.2 Watercourses and Wetlands

The subject property was walked to ensure there were no other watercourses or wetlands on or near the property requiring protection from development. Criteria for delineating watercourses was based on the *BC Riparian Areas Protection Regulation (RAPR)*³. Under the RAPR, the Stream Boundary is defined as the "visible high water mark of a stream where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark on the soil of the bed of the stream a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself, and includes the active floodplain." Vegetation indicators were used as guidance to determine the presence or absence of wetlands on the subject property, as described in *Wetlands of British Columbia*⁴.

2.2.3 Terrestrial Habitats and Species

Survey methods for terrestrial elements or ESAs were directed in part by those outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*² and the *Field Manual for Describing*

² BC Ministry of Environment. (2014). *Develop With Care: Environmental Guidelines for Urban and Rural Land Development*. <<https://www2.gov.bc.ca/assets/gov/environment/natural-resource-stewardship/best-management-practices/develop-with-care/dwc-section-4.pdf>>

³ BC Ministry of Forests, Lands, Natural Resource Operations and Rural Development. (2019). *Riparian Areas Protection Regulation: Technical Assessment Manual*. <https://www2.gov.bc.ca/assets/gov/environment/plants-animals-and-ecosystems/fish-fish-habitat/riparian-areas-regulations/rapr_assessment_methods_manual_for_web_11.pdf>

⁴ MacKenzie, W.H, and J. R. Moran. (2014). *Wetlands of British Columbia, A Guide to Identification*. BC Ministry of Forests.

Biophysical Assessment – 261 Boardwalk Boulevard, Ucluelet, BC

8

*Terrestrial Ecosystems*⁵. Vegetation on the subject property was identified with the assistance of *Plants of Coastal British Columbia*⁶ and *E-Flora BC: Electronic Atlas of the Flora of BC*.⁷

2.2.4 Species and Ecosystems at Risk

An office-based assessment of Species at Risk occurrences on the subject property was completed using the *CDC BC Species and Ecosystems Explorer*⁸, the *Federal Species at Risk Public Registry*⁹, the *Wildlife Tree Stewardship Atlas*¹⁰ and the *Great Blue Heron Atlas*¹¹. The on-site assessment of Species at Risk was completed concurrent with the other inventory efforts mentioned above and was based primarily on methods outlined in *Develop with Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia*².

3 RESULTS

The following sub-sections describe the findings of the background review and site visit conducted on July 29th, 2022. Discussion on how these findings influence the proposed development are provided in the Discussion/Recommendations section of the report (Section 4).

3.1 GENERAL DESCRIPTION OF THE SUBJECT PROPERTY

The subject property is a 0.04-hectare property located along the marine shoreline of Spring Cove which separates Hyphocus Island from the Ucluelet peninsula. The civic address of the property is 261 Boardwalk Boulevard (PID: 026-843-536) and it lies south of the town center in a neighborhood zoned for tourist commercial accommodation (CS-5). The lot is narrow – only 8 m wide – and rectangular. The western 1/3 of the lot is oriented roughly east-west, and the eastern 2/3 are oriented roughly southwest – northeast, creating a distinct bend in the shape of the lot. The entire lot slopes towards the ocean; however, the slope becomes much steeper in the 20 m closest to the shoreline. Between 2 and 10 m from the shoreline, the land slopes at approximately 30° towards the ocean; between 10 and 20 m from the shoreline the slope lessens to approximately 20°; and the top of bank (TOB) is found approximately 20 m from the shoreline where the slope lessens to 13°.

The property is currently vegetated with no existing development. The western portions of the property appear to have been affected by previous disturbances which most recently include land clearing works to enable development of surrounding lots. This disturbance is evident on the subject property by the lack of a well-developed tree canopy in the portion of the lot adjacent to Boardwalk Boulevard, as well as the prevalence of Scotch broom (*Cytisus scoparius*) (Photo 1). Portions of the property closer to the marine shoreline retain natural vegetation communities typical of shoreline sites in this biogeoclimatic zone (Photo 2).

⁵ BC Ministry of Environment. (2010). *Field Manual for Describing Terrestrial Ecosystems, 2nd Edition*. <https://www2.gov.bc.ca/assets/gov/environment/plants-animals-and-ecosystems/conservation-data-centre/field_manual_describing_terrestrial_ecosystems_2nd.pdf>

⁶ Pojar, J. and A. MacKinnon. (1994). *Plants of Coastal British Columbia (Revised, 2004)*. Lone Pine Publishing.

⁷ University of British Columbia. (2020). *E-Flora BC: Electronic Atlas of the Flora of BC*. <<https://ibis.geog.ubc.ca/biodiversity/eflora/index.shtml>>

⁸ BC Ministry of Environment. (2020). *CDC imap and Ecosystems Explorer*. <<http://maps.gov.bc.ca/ess/hm/cdc/>>

⁹ Government of Canada. (2020). *Species at Risk Public Registry*. <<https://www.canada.ca/en/environment-climate-change/services/species-risk-public-registry.html>>

¹⁰ Community Mapping Network. (2020). *Wildlife Tree Stewardship Atlas (WITS)*. <<https://cmnmaps.ca/wits/>>

¹¹ Community Mapping Network. (2020). *Great Blue Heron Atlas*. <<https://cmnmaps.ca/GBHE/>>

3.2 MARINE SHORELINE

3.2.1 Physical Shoreline Characteristics

The shoreline of the subject property lies near the midpoint of Spring Cove and is oriented approximately northeast facing directly towards Hyphocus Island, which is separated by a channel of approximately 60 m (Photo 3). Due to the well protected position within Spring Cove, the shoreline is characteristic of a low energy environment. No artificial armouring was seen during the July 29 site visit at the subject property; however, a natural rock cliff delineates the intertidal zone from the backshore habitat (Photo 4). Additionally, a makeshift stair structure for beach access exists on the neighboring property to the north (Photo 5). General beach characteristics are quite homogenous along the shoreline in both directions (Photos 3 and 6).

3.2.2 Supralittoral and Intertidal Habitat

As mentioned in Section 3.2.1 above, the backshore habitat is delineated from the intertidal zone by a rock cliff. The cliff is approximately 3.5 m tall, with the top 1.5 m being devoid of vegetation. The bottom ~2.2 m are colonized by algae – primarily rockweed (*Fucus distichus*) and gutweed (*Ulva intestinalis*), and acorn barnacles (*Belanus glandula*) (Photo 4).

The cliff begins at the high tide line and extends 3 m into the intertidal zone. From 3 m to 14 m the beach slopes gently to the northeast with a slope of approximately 5°. The sediments of the beach are poorly sorted and consist of boulders from approximately 0.8 m diameter down to fine sands and silts (Photo 7). Within this section of the beach, the rockweed and gutweed that are common on the cliff described above become sparse, while sea lettuce (*Ulva lactuca*) occurs in small amounts. Bivalves, primarily Pacific oyster (*Crassostrea gigas*) and Pacific littleneck (*Leukoma staminea*) are common throughout this zone, and boulders in this zone are accreted together by Pacific oyster (Photo 8). From 14 m to 22 m the slope of the beach flattens slightly to approximately 2°. Gutweed and rockweed are mostly absent from this zone and sea lettuce is the dominant algae. Bivalves are less common below 14 m, which results in boulders not being accreted together (Photo 9). At the time of the July 29 site visit the intertidal zone below 22 m from the high tide line was inundated with seawater; however, physical characteristics appeared similar to those up to 14 m from the high tide line. Small patches of eelgrass (*Zostera marina*) were noted in the wetted portions of the intertidal zone between 22 and 30 m from the high tide line (Photo 10).

3.2.3 Backshore Habitat

Above the cliff delineating the intertidal and backshore habitats on the subject property as described above, the property slopes steeply away from the ocean. The slope lessens further from the shoreline decreasing from 34° between 0 – 5 m to 22° between 5 – 20 m, to 13° between 20 – 30 m from the high tide line. Vegetation on this slope is typical of shoreline habitats in the wet hypermaritime variant of the coastal western hemlock (CWH) biogeoclimatic (BEC) zone. Tree canopy is dominated by western hemlock (*Tsuga heterophylla*) and western redcedar (*Thuja plicata*) with a very thick understory of salal (*Gaultheria shallon*) and few evergreen huckleberry (*Vaccinium ovatum*) (Photo 11). No invasive species were observed within the terrestrial plant community of the 30 m marine shoreline DPA.

Although steeply sloped, the backshore habitat appears stable with no signs of erosion evident during the July 29, 2022 site visit.

3.3 WATERCOURSES AND WETLANDS

There are no ditches, streams, or wetlands on the subject property. Although the property slopes steeply towards the ocean, no distinct watercourse channels were observed. This is likely due to the small elevation of the slope resulting in relatively low catchment of rain; thick soils allowing for significant infiltration; and the thick vegetation coverage absorbing large amounts of rainfall.

3.4 TERRESTRIAL HABITATS AND SPECIES

As previously described, the lot well vegetated with a plant community typical of the climatic conditions found on the subject property. Trees on the property were relatively small, with the largest measured to have a diameter at breast height (DBH) of approximately 0.8 m. This suggests that the property has been cleared of trees in the past. No evidence of significant wildlife use such as established game trails, tracks, or scat were found on the property. Similarly, there were no bird nests or high value nesting trees observed.

Although the terrestrial habitat on the subject property does not appear to be of high value for wildlife, the vegetation covering the steeply sloped portion of the property within the 30 m MSDPA is significant for its function in slope stabilization.

3.5 SPECIES AND ECOSYSTEMS AT RISK

The nearest recorded bald eagle nest (BAEA-108-309) is approximately 700 m from the subject property (Figure 5), and there are no great blue heron nests within one kilometer of the subject property. The proposed development will not pose a risk to any known bald eagle or blue heron nests.

The subject property is within 500 m of known populations of the California wax-myrtle (*Morella californica*) and site conditions are within the habitable range for the species; however, no individuals were found on the property during the site visit on July 29, 2022. The California wax-myrtle is a provincially blue-listed plant but due to its physical separation from the subject property, the proposed construction does not pose a risk to nearby populations of this species.



Figure 5. The nearest known bald eagle nest showing a 300 m buffer in relation to the subject property.

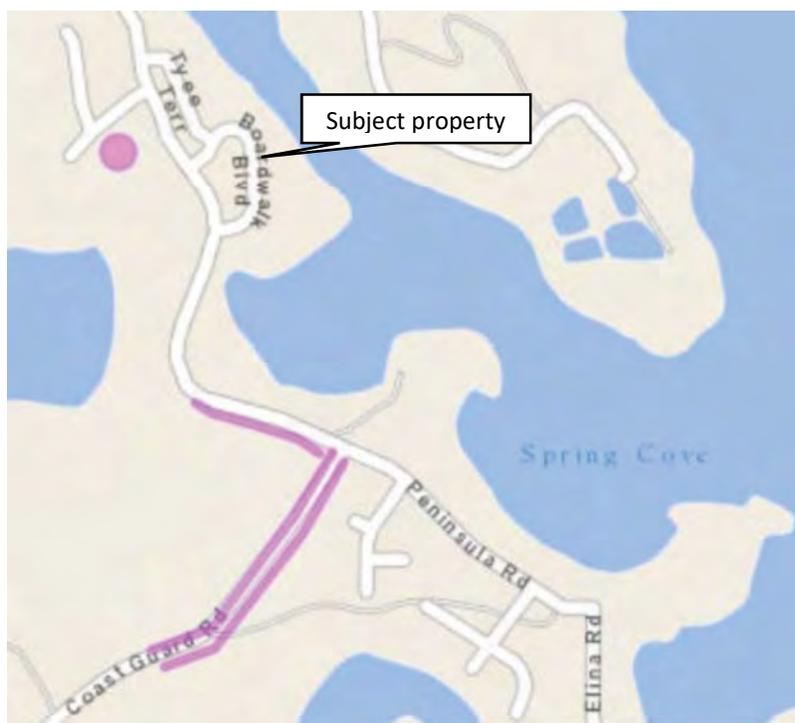


Figure 6: Nearby populations of the California wax-myrtle in relation to the subject property.

4 DISCUSSION/RECOMMENDATIONS

ESAs that require protection during the design and construction of the new dwelling are the marine shoreline and its associated backshore habitat including the trees on the steep slope. The following sections provide guidance on protecting these ESAs

4.1 IMPORTANCE OF BACKSHORE HABITAT

Backshore vegetation plays several critical roles in maintaining ecological function along the subject shoreline:

- 1) **Shoreline stabilization:** Vegetation stabilizes and traps shoreline substrates and helps dissipate wave energy to maintain natural process functions along marine shorelines.
- 2) **Pollutant removal:** Backshore vegetation filters pollutants from surface flows originating on terrestrial lands. In the case of residential developments, this typically relates to driveway and roof runoff.
- 3) **Perching sites for birds of prey:** Although there are no old growth trees on the subject property, the lack of continuous forest coverage on surrounding lots means that even smaller trees may provide important perching sites.
- 4) **Shade and microclimate:** Backshore vegetation plays an important role in moderating temperatures and maintaining moisture of substrates in the high intertidal zone.
- 5) **Food production:** Shoreline vegetation provides habitat for a wide variety of invertebrate species that form a significant portion of the prey base for marine wildlife – particularly forage fish and salmonids.
- 6) **Organic matter and large woody debris recruitment:** Properly functioning backshore vegetation provides a continuous supply of organic matter to the shoreline system in the form of logs, smaller wood, and leaf litter. This material drives primary food production, provides microhabitats for numerous invertebrate species, helps maintain and regulate moist microhabitats, and dissipates wave energy.

4.2 SHORELINE SETBACK AREA

A shoreline setback width of 20 m is being prescribed for the subject property, which is to be measured from the Present Natural Boundary of the shoreline (Figure 3). This distance is chosen to coincide with the approximate top of bank where the topography of the subject property flattens out. This vegetated setback will ensure that the steep slopes adjacent to the marine shoreline remain stable, and that all the functions listed in Section 4.1 remain intact.

The presence of eelgrass in the intertidal zone highlights the ecological significance of Spring Cove as fish rearing habitat, which is confirmed by the Department of Fisheries and Oceans' (DFO) Pacific herring (*Clupea pallasii*) spawn data for Barkley Sound¹². Within the DFO mapping data, Spring Cove is noted as an area of "High" to "Medium" importance for

¹² Department of Fisheries and Oceans. (2016). *Section 232, West Barkley Sound Spawning Records*. <https://www.pac.dfo-mpo.gc.ca/science/species-especies/pelagic-pelagique/herring-hareng/herspawn/232fig-eng.html>

Biophysical Assessment – 261 Boardwalk Boulevard, Ucluelet, BC

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herring (Figure 7). Populations of herring have not been assigned a conservation status provincially¹³; however, population health of the West Coast Vancouver Island herring stock is currently rebuilding after historically low population numbers in the early 2000's, and biomass has not been sufficient for the DFO to permit a commercial fishery since 2005¹⁴.

Due to the known importance of Spring Cove to a commercially important species that is undergoing a population recovery, no disturbance should take place within the 20 m shoreline setback. As designed, the proposed development does not encroach into the recommended 20 m setback (Figure 3).

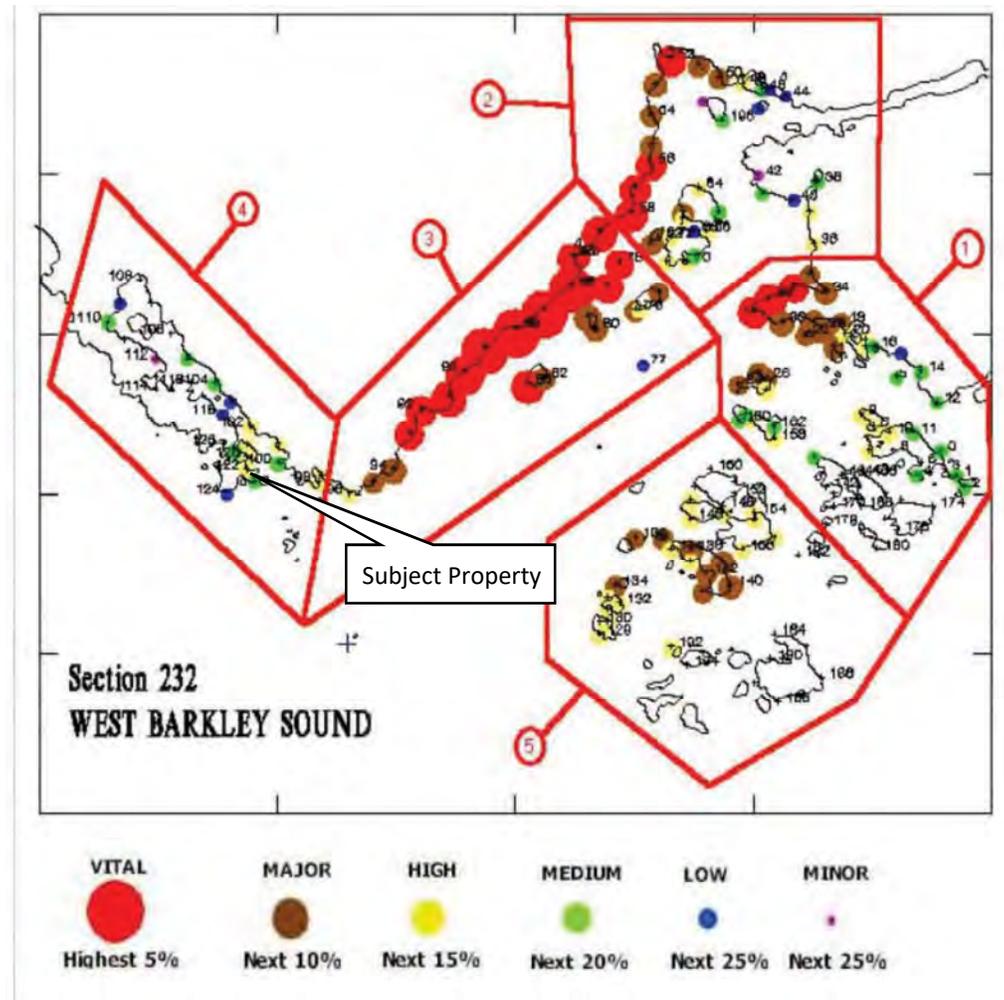


Figure 7: Known herring (*Clupea pallasii*) spawning locations in Barkley Sound. Spring Gove is shown on this map as high-medium importance. Map adapted from: <https://www.pac.dfo-mpo.gc.ca/science/species-especes/pelagic-pelagique/herring-hareng/herspawn/232fig-en>

¹³ BC Ministry of Environment. (2022). *BC Species and Ecosystems Explorer for Clupea pallasii (Pacific Herring)*. <https://a100.gov.bc.ca/pub/eswp/reports.do?elcode=AFCFA07030>

¹⁴ Department of Fisheries and Oceans. (2021). *Stock Status Update With Application of Management Procedures for Pacific Herring (Clupea pallasii) in British Columbia: Status in 2021 and Forecast for 2022*. https://publications.gc.ca/collections/collection_2021/mpo-dfo/fs70-7/Fs70-7-2021-039-eng.pdf

4.3 VEGETATION RESTORATION AND INVASIVE SPECIES REMOVALS

The entire 20 m recommended shoreline setback is well vegetated with a native plant community. No enhancements are necessary to improve the slope stability or ecosystem functions provided by this setback, and therefore a landscaping plan is not recommended as part of this assessment.

Invasive species consisting primarily of Scotch broom were noted on the subject property adjacent to Boardwalk Boulevard outside of the MSDPA. This portion of the property will be highly disturbed during construction. It is recommended that during the site clearing phase, any vegetation or soils containing invasive plants be bagged and disposed of at a landfill to prevent further spread.

4.4 MITIGATION MEASURES DURING CONSTRUCTION

It will be important to implement mitigation measures during the construction of the new dwelling on the subject property to protect the sensitive backshore vegetation adjacent to the site. Mitigation measures during construction are provided in Appendix A.

5 CONCLUSION

Based on the results on this assessment, proposed development on the subject property can proceed without causing a net impact to the adjacent shoreline habitat for the following reasons:

- 1) There will be no construction, ground disturbance, or removal of trees or vegetation within the 20 m shoreline setback area on the subject property.
- 2) The new development will be entirely outside of the 20 m shoreline setback area.
- 3) As per Section 4.6 and Appendix A, any potential adverse effects during construction can be mitigated to result in no, negligible or minor harmful effects on aquatic resources. If mitigation measures are not implemented as intended harmful alterations may result.

6 CLOSURE

We trust this assessment has satisfied the requirement to determine the potential effects of the proposed development on the adjacent marine habitat at 261 Boardwalk Boulevard.

Please contact the undersigned with any questions or concerns.

Sincerely,



Jamie Godfrey, Technologist

and



Rupert Wong, R.P.Bio.



Biophysical Assessment – 261 Boardwalk Boulevard, Ucluelet, BC

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Current Environmental Ltd.



PHOTOS



Photo 1. 261 Boardwalk Boulevard as seen from Boardwalk Boulevard looking northeast towards Spring Cove. The thick vegetation coverage of the subject property is evident with Scotch broom being dominant adjacent to the roadside, and intact tree canopy towards the shoreline.



Photo 2. Vegetation seen at the top of bank on 261 Boardwalk Boulevard looking northeast towards Spring Cove. Vegetation cover was a mix of western hemlock and western redcedar trees with an understory dominated by salal.



Photo 3. Shoreline of the subject property looking northwest and showing the treeline of Hyphocus Island along the right hand side of the image.



Photo 4: Rock cliff delineating the intertidal zone from the backshore habitat at 261 Boardwalk Boulevard.



Photo 5: Makeshift stair and dock structure on the property north of 261 Boardwalk Boulevard.



Photo 6. View of the shoreline of adjacent properties to the southeast.



Photo 7. Representative photograph of sediments found in the intertidal zone affronting 261 Boardwalk Boulevard.



Photo 8. Representative photograph of the beach of 261 Boardwalk Boulevard between 3 – 14 m.



Photo 9. The difference in the zones above and below the 14 m mark showing the abundance of sea lettuce and greater space between boulders below 14 m.



Photo 10. Eelgrass patches seen in the wetted portion of the intertidal zone adjacent to 261 Boardwalk Boulevard approximately 25 – 30 m from the high tide line.



Photo 11. Typical vegetation within the backshore of 261 Boardwalk Boulevard.

APPENDIX A: MITIGATION MEASURES DURING CONSTRUCTION**Fuels and Hazardous Materials:**

The accidental release of petroleum, oils, hydraulic fluids, lubricants, concrete additives, anti-freeze or other hazardous materials onto land surfaces or into waterbodies is an offence under the Federal *Fisheries Act* and may result in degradation of habitat quality and could be a threat to human health. Machinery required for the proposed development will likely be limited to a generator to power hand tools, and trucks delivering materials to the site.

Environmental protection procedures for handling and storage of fuels and hazardous materials shall include the following items:

- 1) A spill kit of appropriate capacity will be on hand at all times heavy machinery or gas-powered tools are in use during construction.
- 2) All identified spills will be cleaned up immediately, and contaminated soils and vegetation will be removed for appropriate disposal.
- 3) Refueling of equipment is to occur only at designated fuelling stations and located at least 20 m from the shoreline.
- 4) All fuel, chemicals, and hazardous materials will be clearly marked.
- 5) Pumps and jerry cans are to be placed on poly sheeting and sorbent pads to contain spills.
- 6) All equipment maintenance with the potential for accidental spills (e.g., oil changes, lubrications) will be done on a designated area at least 20 m from the shoreline. Tarps should be laid down prior to commencement of work to facilitate clean up.
- 7) In the event of a spill, the following guidelines should be followed:
 - a. Spills to the receiving environment are to be reported to Emergency Management BC (1-800-663-3456) if they exceed the reportable limits (e.g. 100 liters of fuel or oil).
 - b. Apply sorbent pads and booms as necessary.
 - c. Dispose of all contaminated debris, cleaning materials, and absorbent material by placing in an approved disposal site.

Sediment and Erosion Control:

Specific measures to control sediment during construction will include:

- 1) Maintain/do not disturb vegetation within the prescribed 20 m shoreline setback.
- 2) Where there is a potential for silt runoff in the proximity of existing waterbodies, control devices will be installed prior to construction activities commencing.
- 3) Filter fabric dams, rock check dams, and silt fencing will be used as needed on a site-specific basis to control erosion. Filtration should be accomplished using filter fabric keyed into substrates and banks and elevated

using stakes or straw bales. Silt fencing is not an acceptable mitigation technique to control erosion in flowing ditches; however, it is useful for containing slumping areas and for use as baffles to slow water velocities.

- 4) Excavation will be stopped during intense rainfall events or whenever surface erosion occurs affecting nearby waterbodies.
- 5) Soil stockpiles will be placed a minimum of 20 m from any waterbody and in a location where erosion back into the marine environment cannot occur and will not impede any drainage.
- 6) Soil stockpiles with the potential to erode into waterbodies are to be covered with poly sheeting. Other techniques, such as terracing or surface roughening can greatly reduce surface erosion on steeper slopes.
- 7) Permanent exposed soil areas and erosion-prone slopes that may potentially erode into waterbodies are to be seeded or covered with geotextile.
- 8) Clearing will take place immediately prior to excavation and earthworks to minimize the length of time that soils are exposed. Vegetation in adjoining areas will not be disturbed.

Tree Protection:

All trees and native vegetation within the 20 m shoreline setback will need to be retained and protected, unless a tree is deemed hazardous by a certified arborist. Trees provide critical functions in backshore areas by providing shade, nutrient and leaf litter drop, large woody debris recruitment in both the foreshore and marine environments, and bank stability through their complex root networks. They also help retain soil and provide more favourable growing conditions for other understory shrubs and ground cover plants in the backshore area.

As previously described, there will be significant clearing of existing vegetation from portions of the subject property; however, there are no plans for any vegetation removal within the 20 m shoreline buffer zone. Specific measures to protect trees during development will include:

- 1) A root protection zone for all trees in the 20 m shoreline setback will be established prior to construction commencing. The root protection zone should be established at the edge of the drip line of trees within the 20 m shoreline setback. The root protection zone should be physically delineated and should be off-limits to machinery.
- 2) Machine access will be from the southwest side of the property.
- 3) Tree protection plans will be communicated to everyone on site prior to commencing construction.
- 4) If roots are encountered during construction, they should be first avoided if possible, and if they must be cut they should be cut cleanly with a saw as opposed to shattered with machinery.
- 5) Care should be taken not to break any limbs of trees within the 20 m shoreline setback during construction. If any limbs are accidentally broken, they should be cleanly cut with a saw.
- 6) Should any issues arise with regards to potential changes to the impact on trees during development, it is recommended that an arborist be retained to provide guidance on the least impact approach to development around trees.

SL A 196 BOARDWALK BLVD UCLUELET BC

PROJECT CONTACTS:

SUBMITTER: AG SURVEYS
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Email: info@agdesignsolutions.com

DESIGNER: ELITE DESIGN
CDS ENGINEERING GROUP LTD.
4525 PACIFIC RIM DR.
SUITE 100
VICTORIA BC V8N 4P4
TEL: 250-550-8000
Email: Projects.prd@gmail.com

PROJECT SUMMARY:

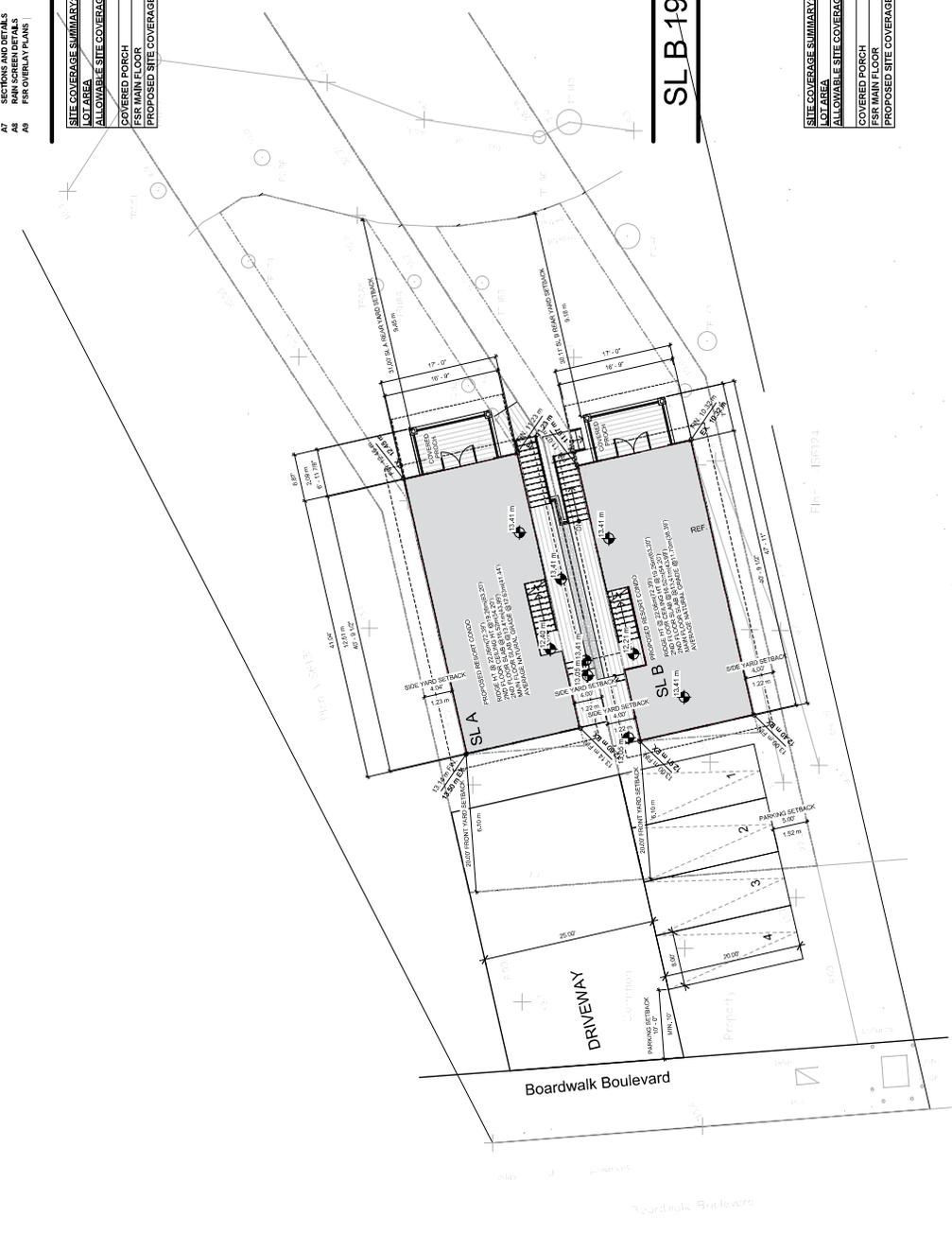
SITE COVERAGE SUMMARY (US/IA)	
LOT AREA	4480.28 SF
PERMITTED SITE COVERAGE (40.00%)	1792.11 SF
PROPOSED SITE COVERAGE	1852.00 SF
COVERED PORCH	80.83 SF
FSR MAIN FLOOR	648.33 SF
PROPOSED SITE COVERAGE:	726.17 SF
	17.59%

ZONING DISTRICT:	CS-5
PROPOSAL:	RESORT CONDO
PROPOSAL ADDRESS:	SL B 196 BOARDWALK BLVD UCLUELET BC
LEGAL DESCRIPTION:	STRATA LOTS A and B, SECTION 21 CLAYBOOD DIST. PLAN V86125
SL-A LOT AREA:	4430.718 SF

SL-A	PERMITTED:	70%	PROPOSED:
SL-A FSR:	2851.62 SF	UPPER FLOOR	632.17 SF
		MAIN FLOOR	865.32 SF
		BASEMENT	736.77 SF
SL-A SITE COVERAGE:	1852.00 SF	40%	17.59%
FRONT YARD:	20'	6m	20' E 23.57/25.80'
SIDE YARD:	4'	1.2m	4'
REAR YARD:	10'	3m	31'
BUILDING HEIGHT:	39'	12m	30.98'
FRONT YARD:	4'	1.2m	26.92'
SIDE YARD:	4'	1.2m	11.83'
REAR YARD:	10'	3m	29.88'
BUILDING HEIGHT:	39'	12m	14.89m

SHEET LIST:

- A1 SITE PLAN
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTIONS AND DETAILS
- A6 PAIN SCREEN DETAILS
- A7 PAIN SCREEN DETAILS
- A8 FOR UTILITY PLANS



SL B 196 BOARDWALK BLVD UCLUELET BC

ZONING DISTRICT:	CS-5
PROPOSAL:	RESORT CONDO
PROPOSAL ADDRESS:	SL B 196 BOARDWALK BLVD UCLUELET BC
LEGAL DESCRIPTION:	STRATA LOTS A and B, SECTION 21 CLAYBOOD DIST. PLAN V86125
SL-B LOT AREA:	4428.88 SF

SITE COVERAGE SUMMARY (US/IA)	
LOT AREA	4428.88 SF
PERMITTED SITE COVERAGE (40.00%)	1771.55 SF
PROPOSED SITE COVERAGE	1688.56 SF
COVERED PORCH	83.07 SF
FSR MAIN FLOOR	647.38 SF
PROPOSED SITE COVERAGE:	730.38 SF
	17.29%

SL-B	PERMITTED:	70%	PROPOSED:
SL-B FSR:	2957.02 SF	UPPER FLOOR	632.17 SF
		MAIN FLOOR	865.32 SF
		BASEMENT	736.77 SF
SL-B SITE COVERAGE:	1688.56 SF	40%	17.29%
FRONT YARD:	20'	6m	20' E 23.57/25.80'
SIDE YARD:	4'	1.2m	4'
REAR YARD:	10'	3m	31'
BUILDING HEIGHT:	39'	12m	30.98'
FRONT YARD:	4'	1.2m	26.92'
SIDE YARD:	4'	1.2m	11.83'
REAR YARD:	10'	3m	29.88'
BUILDING HEIGHT:	39'	12m	14.89m

CONTRACT RECEIVED: 2022.03.23

1. ISSUE FOR BP

PROJECT: SL A, SL B 196 BOARDWALK BLVD UCLUELET BC

SITE PLAN

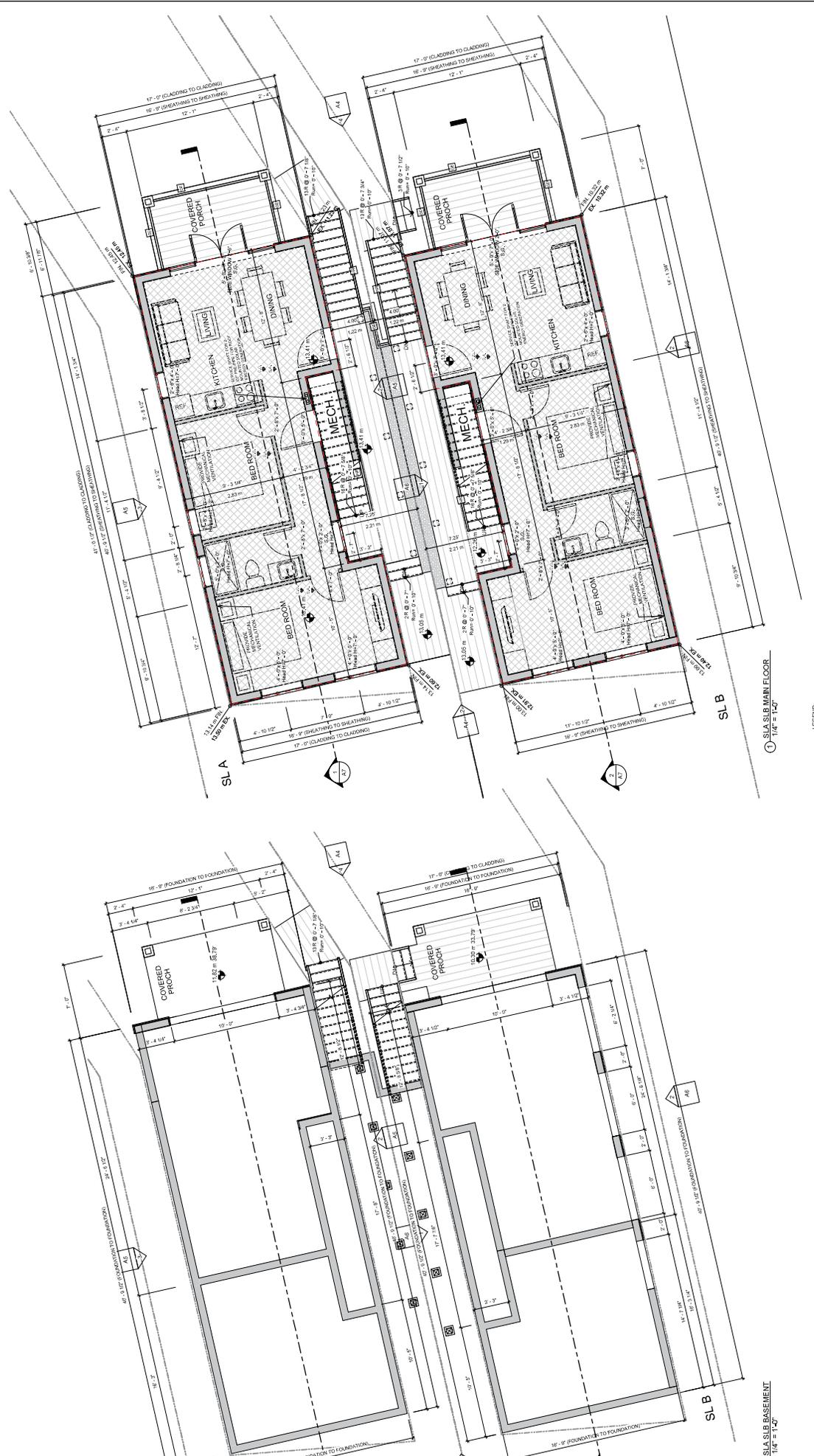
Author: Elite Design

PROJECT NORTH



NO.	REVISION	DATE
1	ISSUE FOR PERMIT	2023.03.23

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND ALL LINES REMAIN THE EXCLUSIVE PROPERTY OF ELITE DESIGN AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND CONDITIONS OF THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND CONDITIONS OF THE PLAN.



HEATING SYSTEM: AIR TO WATER HEAT PUMP

- LEGEND:
- U.L.C. LABELLED METAL GAS FIREPLACE INSERT
 - 3/4"TH GUARDRAIL (EXTERIOR)
 - 3/4"TH GUARDRAIL (INTERIOR)
 - 3/4"TH HANDRAIL
 - SMOKE ALARM
 - CARBON MONOXIDE ALARM
 - FLOOR CHAIR
 - SMOKE ALARM (AS PER BC FIRE CODE)
 - MONITORING SOLAR ENERGY GENERATION
 - R2S BATT INSULATION UNDER LIVING SPACE ABOVE UNHEAT BASEMENT (PTB)

ALL WINDOWS, SLIGHTS AND SLICING GLASS MUST COMPLY WITH THE BC BUILDING CODE, 2012 EDITION, MANUFACTURERS LABEL CONFIRMING CANADIAN NFPA PERFORMANCE CRITERIA ARE REQUIRED ON EACH UNIT AT TIME OF INSPECTION.

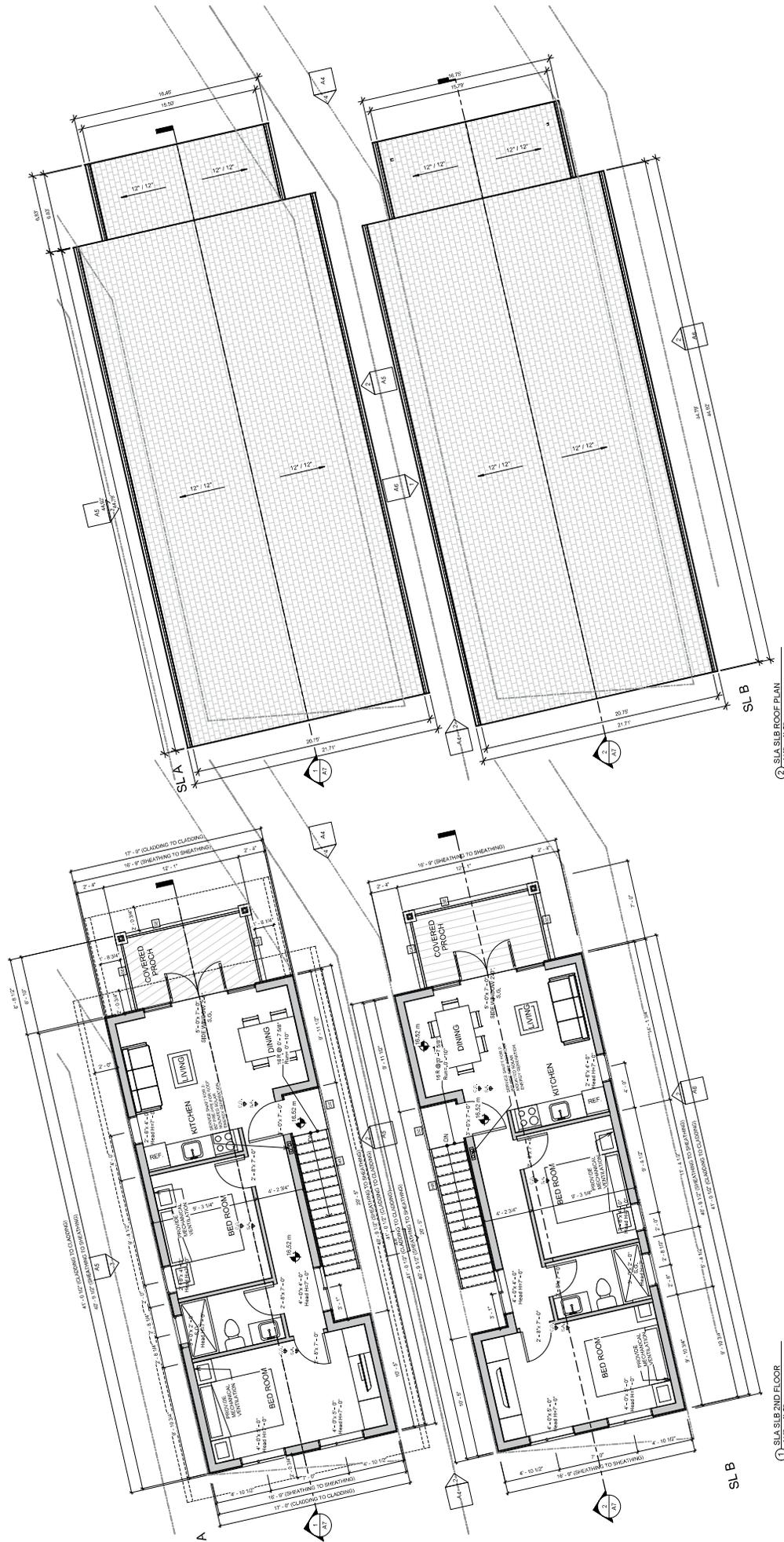
ALL WINDOWS, SLIGHTS AND SLICING GLASS MUST COMPLY WITH THE BC BUILDING CODE, 2012 EDITION, MANUFACTURERS LABEL CONFIRMING CANADIAN NFPA PERFORMANCE CRITERIA ARE REQUIRED ON EACH UNIT AT TIME OF INSPECTION.

SLA SLB MAIN FLOOR
1/4" = 1/4"

SLB BASEMENT
1/4" = 1/4"

1. ISSUE FOR BP	2023.03.23

CONTRACTOR RESPONSIBILITIES
This plan and design are, and all items remain the exclusive property of ELITE DESIGN and cannot be used or reproduced for any other project without the written consent of ELITE DESIGN. All dimensions shall be provided from the dimensions and conditions on the drawings.



LEGEND

- U.S. LABELED METAL GAS REFILLAGE INSERT
- SMOKE ALARM
- CARBON MONOXIDE ALARM
- 3-5" H GUARDRAIL (EXTERIOR)
- FLOOR DRAIN
- 3-5" H GUARDRAIL (INTERIOR)
- SERVICE SHAFT FOR 2027 PRE-FIRE FOR ROOF MOUNTED SOLAR ENERGY GENERATION
- 3-5" H HANDRAIL
- ROOF MAT INSULATION UNDERLINGS SPACE ABOVE UNHEAT BASEMENT

SCALE

ALL WINDOWS, SKYLIGHTS AND EXTERIOR DOORS MUST BE LABELED IN ACCORDANCE WITH THE 2018 BC BUILDING CODE, 2018 EDITION, MANUFACTURE LABELS ARE REQUIRED ON EACH UNIT AT TIME OF INSPECTION.

HEATING SYSTEM: AIR TO WATER HEAT PUMP

ALL windows, skylights and exterior doors must comply with the 2018 BC Building Code, 2018 Edition, Manufacture labels confirming Canadian NAFS performance criteria are required on each unit at time of inspection.

SLA SUB ROOF PLAN
1/4" = 1'-0"

SLB SUB ROOF PLAN
1/4" = 1'-0"

SLA SLB 2ND FLOOR
1/4" = 1'-0"

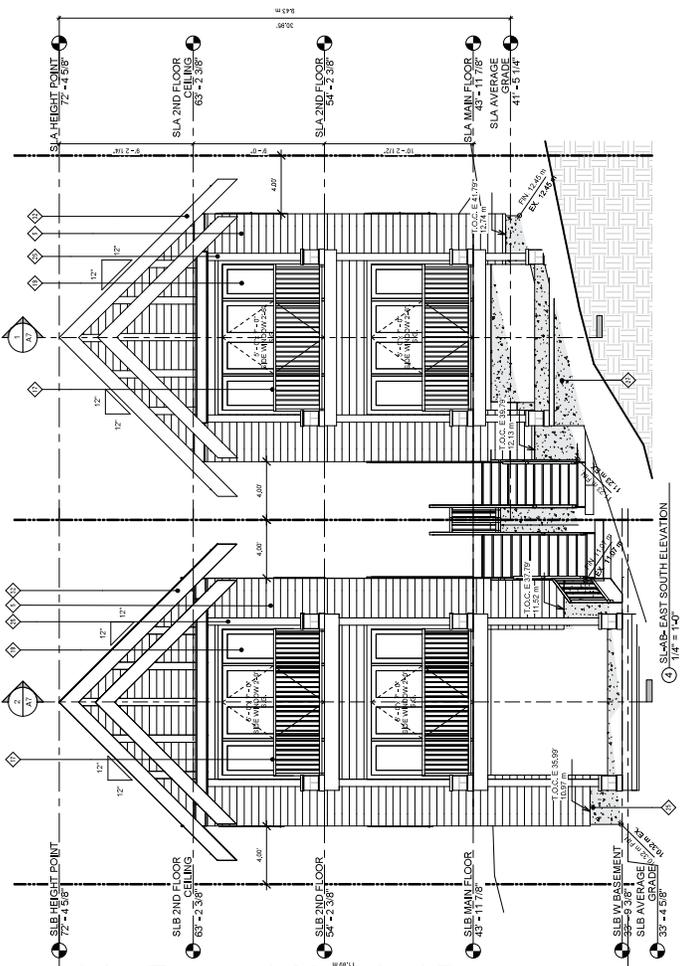
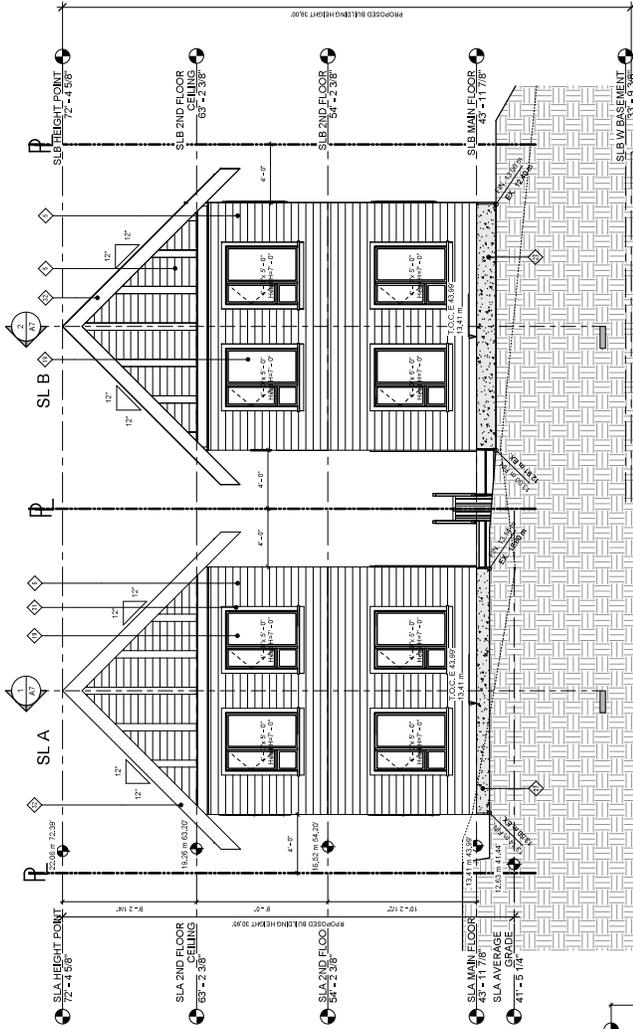
ELEVATIONS

SLA, SL B 196
BOARDWALK BLVD
UCLUELET BC

PROJECT NORTH

NO.	REVISION	DATE
1	ISSUE FOR BP	2023.03.23

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NO.	FINISH	APPROX. FEET
5	HARDIE BOARD SIDING	
13	EXTERIOR WALL FINISH	
19	WALL FRAME WINDOW VALLOW F-G GLASS	
25	DECORATIVE COLUMN	
27	FINISH WITH ELASTOMERIC COATING	
31	W WINDOW TRIM	
32	W WINDOW SIDING	

- TYPICAL ELEVATION CONSTRUCTION NOTES
- WALL CLADDING TO BE ON RAIN SCREEN (MIN. 10mm STRAPPING) U.N.C.
 - FLASHING TO BE INSTALLED AT ALL WINDOW AND DOOR OPENINGS
 - FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - FLASHINGS TO BE MIN. 2% SLOPE AND HAVE END DAMS
 - ALL WINDOW AND DOOR FINISHES TO BE IN ACCORDANCE WITH THE FINISH SCHEDULE
 - ALL WINDOW OPENERS TO BE CONFORMED BY THE OWNER
 - DOORS TO CONFORM TO SECTION S6 OF THE BUILDING CODE
 - WINDOWS TO CONFORM TO SECTION S7 OF THE BUILDING CODE

GENERAL OPERATIONAL NORTH
AGGREGATE AREA OF UNPROTECTED OPENINGS:
NORTH ELEVATION: LD=8.69M AREA=466.44 SQ.FT.
MAXIMUM UNPROTECTED OPENING: 2.46M X 2.79 SQ.FT.
WEST ELEVATION: LD=8.69M AREA=466.44 SQ.FT.
MAXIMUM UNPROTECTED OPENING: 2.46M X 2.79 SQ.FT.
PROPOSED: 1033 SQ.FT.
NORTH ELEVATION: LD=8.69M AREA=466.44 SQ.FT.
MAXIMUM UNPROTECTED OPENING: 2.46M X 2.79 SQ.FT.
WEST ELEVATION: LD=8.69M AREA=466.44 SQ.FT.
MAXIMUM UNPROTECTED OPENING: 2.46M X 2.79 SQ.FT.
PROPOSED: 1033 SQ.FT.

ELITE DESIGN
PREMIUM HOMES

4250 WOODBINE BLVD, SUITE 100, VANCOUVER, BC V6L 4K5
1.206.999.6922
e: elite@elitedesign.com

AS/NOTE
AS/NOTE
DATE: 2023.03.23
PROJECT: Author

ELEVATIONS
SLA

SLA, SLB 196
BOARDWALK BLVD
UCLUELET BC

PROJECT NO: 2023.03.23

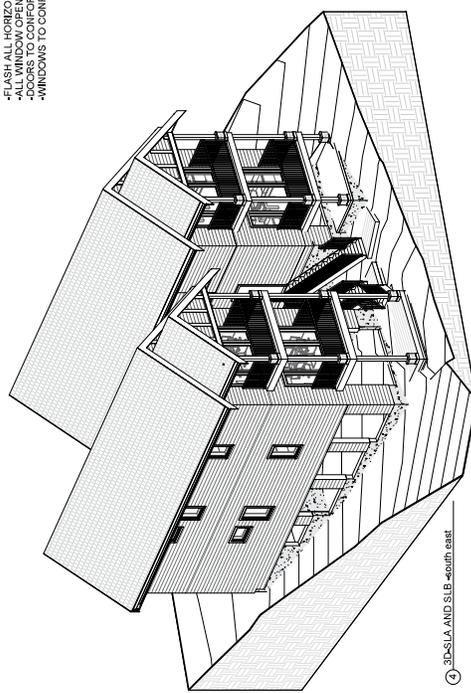
1. ISSUE FOR BP

COMMENTS RECEIVED:
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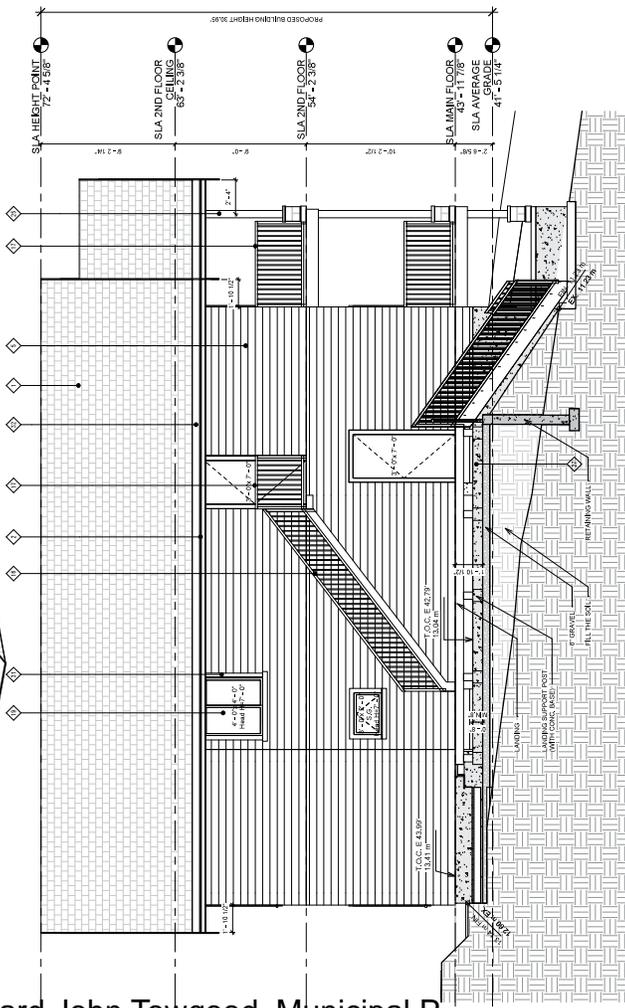
2023/03/23 9:38

- TYPICAL ELEVATION CONSTRUCTION NOTES**
- WALL CLADDING TO BE ON BAIN SCREEN (MIN. 10mm STRAPPING) U.L.I.N.O.
 - CAULK JOINTS BETWEEN DISSIMILAR MATERIALS
 - FLASH ALL UNPROTECTED EXTERIOR OPENINGS
 - FLASH ALL UNPROTECTED EXTERIOR ROOF DRAINS
 - FLASH ALL HORIZONTAL INTERSECTIONS OF DIFFERING WALL FINISHES
 - ALL WINDOW OPENERS TO BE CONFIRMED BY THE OWNER
 - ADOCKS TO CONFORM TO SECTION 3.86 OF THE BUILDING CODE
 - WINDOWS TO CONFORM TO SECTION 9.17 OF THE BUILDING CODE

KEY / FINISH	KEYWORD / TEXT
1	ASPHALT SINGLE ROOFING
2	5" GUTTER
3	HARDIE BOARD SIDING
4	1/2" ALUMINUM BRIMS
5	1/2" ALUMINUM BRIMS
6	1/2" ALUMINUM BRIMS
7	1/2" ALUMINUM BRIMS
8	1/2" ALUMINUM BRIMS
9	1/2" ALUMINUM BRIMS
10	1/2" ALUMINUM BRIMS
11	1/2" ALUMINUM BRIMS
12	1/2" ALUMINUM BRIMS
13	1/2" ALUMINUM BRIMS
14	1/2" ALUMINUM BRIMS
15	1/2" ALUMINUM BRIMS
16	1/2" ALUMINUM BRIMS
17	1/2" ALUMINUM BRIMS
18	1/2" ALUMINUM BRIMS
19	1/2" ALUMINUM BRIMS
20	1/2" ALUMINUM BRIMS
21	1/2" ALUMINUM BRIMS
22	1/2" ALUMINUM BRIMS
23	1/2" ALUMINUM BRIMS
24	1/2" ALUMINUM BRIMS
25	1/2" ALUMINUM BRIMS
26	1/2" ALUMINUM BRIMS
27	CONCRETE WITH LAMINAR COATING FINISH
28	4" WINDOW TRIM
29	1/2" ALUMINUM BRIMS
30	1/2" ALUMINUM BRIMS
31	1/2" ALUMINUM BRIMS
32	1/2" ALUMINUM BRIMS

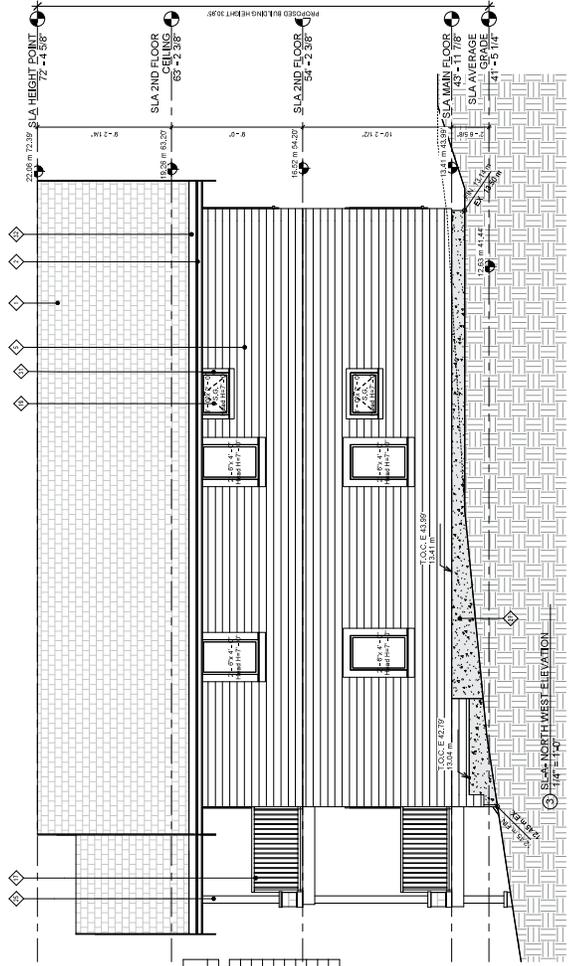


④ 3D-SLA AND SLB -south east



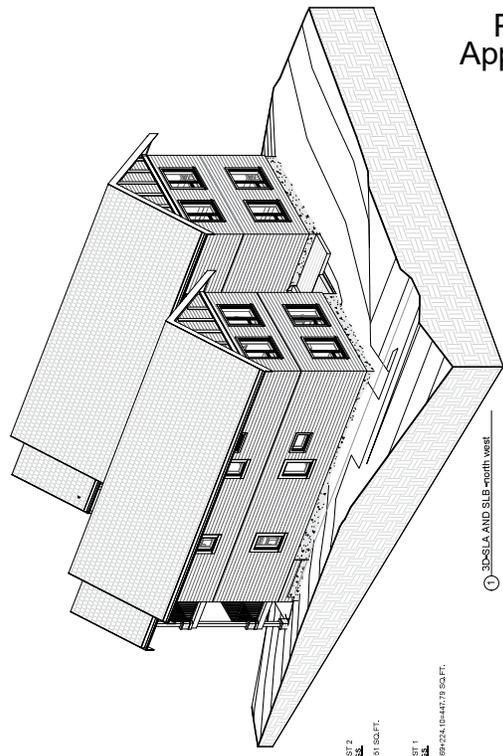
③ SLA SOUTH EAST ELEVATION
1/4" = 1'-0"

PROJECT NORTH



③ SLA NORTH WEST ELEVATION
1/4" = 1'-0"

GENERAL SEPARATION WALL ASSEMBLY
AGGREGATE AREA OF BLIND GREEN WALL
MAXIMUM HEIGHT: 10'-0" (3.05M)
MAXIMUM WEIGHT: 10,000 LBS (4,536 KG)
MAXIMUM SPACING: 16'-0" (4.88M)
PROPOSED: 8'-0" (2.44M) x 10'-0" (3.05M)



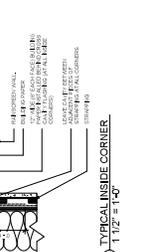
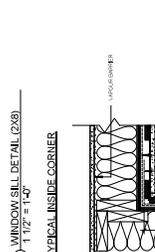
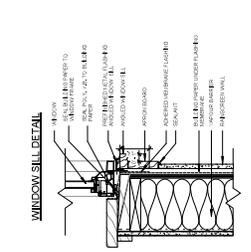
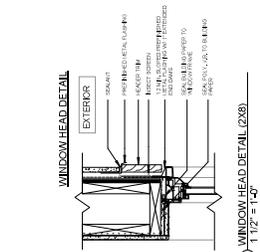
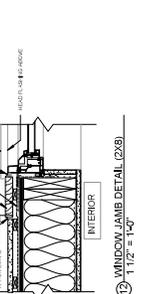
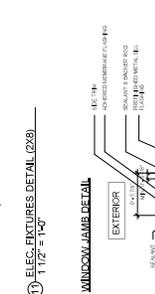
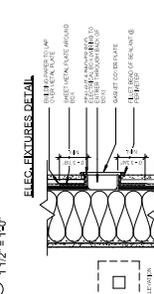
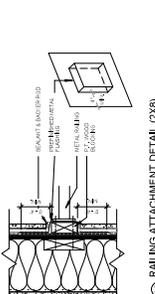
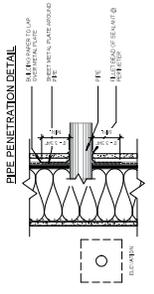
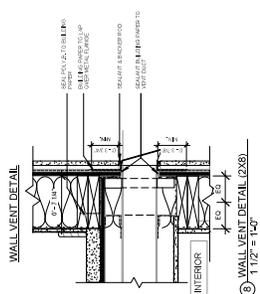
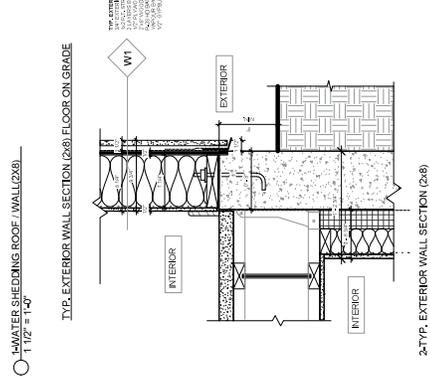
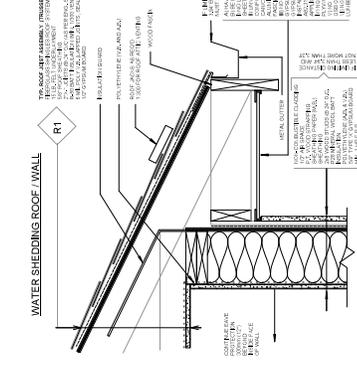
① 3D-SLA AND SLB -west

GENERAL SEPARATION WALL ASSEMBLY
AGGREGATE AREA OF BLIND GREEN WALL
MAXIMUM HEIGHT: 10'-0" (3.05M)
MAXIMUM WEIGHT: 10,000 LBS (4,536 KG)
MAXIMUM SPACING: 16'-0" (4.88M)
PROPOSED: 8'-0" (2.44M) x 10'-0" (3.05M)

REV	DATE	DESCRIPTION
1	2023.03.23	ISSUE FOR BP

COMMENTS RECEIVED:
This plan and design are, and all files remain the exclusive property of ELITE DESIGN and cannot be used or reproduced without written permission from the firm. All dimensions shall be provided from the dimensions and conditions on the drawings.

PROJECT NORTH





DEVELOPMENT PERMIT DP22-11

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:
Haoli Investments LTD INC No BC1271993, 4560 Fisher Drive, Richmond, BC V6X 3V6
(The "Permittee")

2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:
261 Boardwalk Boulevard, strata Lot A, section Lot 21, Clayoquot District. Strata Plan VIS6125
(The "Lands").

3. This Permit authorizes the following improvements on the Lands:
Construction of a 2-unit resort condominium building and associated landscaping.
4. These improvements apply only in the locations indicated, and otherwise in accordance with, the drawings and specifications attached to this Permit as **Schedule 1**.
5. The permittee, as a condition of issuance of this Permit, agrees to comply with the environmental requirements and conditions of the Environmental report in **Schedule 1** and as redefined in **Schedule 2**.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect fencing or otherwise demarcate the no-disturbance area within 20m of the shoreline, and contact the District of Ucluelet to arrange a pre-construction inspection.
7. Prior to issuance of a Building Permit for the proposed development, the owner is to provide a detailed landscape plan co-ordinated with the neighbouring development and providing screening of parking areas, for review and approval by the Director of Community Planning.
8. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
9. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
10. The permittee shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
11. This Permit is NOT a Building Permit.
12. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2022 .
ISSUED the day of , 2022.

Bruce Greig
Director of Community Planning



Schedule 1
(see appendix A)

Schedule 2 Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Mitigation Measures, determined by Qualified Environmental Professional as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property:

Fuels and Hazardous Materials:

The accidental release of petroleum, oils, hydraulic fluids, lubricants, concrete additives, anti-freeze or other hazardous materials onto land surfaces or into waterbodies is an offence under the Federal *Fisheries Act* and may result in degradation of habitat quality and could be a threat to human health. Machinery required for the proposed development will likely be limited to a generator to power hand tools, and trucks delivering materials to the site.

Environmental protection procedures for handling and storage of fuels and hazardous materials shall include the following items:

- 1) A spill kit of appropriate capacity will be on hand at all times heavy machinery or gas-powered tools are in use during construction.
- 2) All identified spills will be cleaned up immediately, and contaminated soils and vegetation will be removed for appropriate disposal.
- 3) Refueling of equipment is to occur only at designated fuelling stations and located at least 20 m from the shoreline.
- 4) All fuel, chemicals, and hazardous materials will be clearly marked.
- 5) Pumps and jerry cans are to be placed on poly sheeting and sorbent pads to contain spills.
- 6) All equipment maintenance with the potential for accidental spills (e.g., oil changes, lubrications) will be done on a designated area at least 20 m from the shoreline. Tarps should be laid down prior to commencement of work to facilitate clean up.
- 7) In the event of a spill, the following guidelines should be followed:
 - a. Spills to the receiving environment are to be reported to Emergency Management BC (1-800-663-3456) if they exceed the reportable limits (e.g. 100 liters of fuel or oil).
 - b. Apply sorbent pads and booms as necessary.
 - c. Dispose of all contaminated debris, cleaning materials, and absorbent material by placing in an approved disposal site.

Sediment and Erosion Control:

Specific measures to control sediment during construction will include:

- 1) Maintain/do not disturb vegetation within the prescribed 20 m shoreline setback.
- 2) Where there is a potential for silt runoff in the proximity of existing waterbodies, control devices will be installed prior to construction activities commencing.
- 3) Filter fabric dams, rock check dams, and silt fencing will be used as needed on a site-specific basis to control erosion. Filtration should be accomplished using filter fabric keyed into substrates and banks and elevated using stakes or straw bales. Silt fencing is not an acceptable mitigation technique to control erosion in flowing ditches; however, it is useful for containing slumping areas and for use as baffles to slow water velocities.
- 4) Excavation will be stopped during intense rainfall events or whenever surface erosion occurs affecting nearby waterbodies.
- 5) Soil stockpiles will be placed a minimum of 20 m from any waterbody and in a location where erosion back into the marine environment cannot occur and will not impede any drainage.



- 6) Soil stockpiles with the potential to erode into waterbodies are to be covered with poly sheeting. Other techniques, such as terracing or surface roughening can greatly reduce surface erosion on steeper slopes.
- 7) Permanent exposed soil areas and erosion-prone slopes that may potentially erode into waterbodies are to be seeded or covered with geotextile.
- 8) Clearing will take place immediately prior to excavation and earthworks to minimize the length of time that soils are exposed. Vegetation in adjoining areas will not be disturbed.

Tree Protection:

All trees and native vegetation within the 20 m shoreline setback will need to be retained and protected, unless a tree is deemed hazardous by a certified arborist. Trees provide critical functions in backshore areas by providing shade, nutrient and leaf litter drop, large woody debris recruitment in both the foreshore and marine environments, and bank stability through their complex root networks. They also help retain soil and provide more favourable growing conditions for other understory shrubs and ground cover plants in the backshore area.

As previously described, there will be significant clearing of existing vegetation from portions of the subject property; however, there are no plans for any vegetation removal within the 20 m shoreline buffer zone. Specific measures to protect trees during development will include:

- 1) A root protection zone for all trees in the 20 m shoreline setback will be established prior to construction commencing. The root protection zone should be established at the edge of the drip line of trees within the 20 m shoreline setback. The root protection zone should be physically delineated and should be off-limits to machinery.
- 2) Machine access will be from the southwest side of the property.
- 3) Tree protection plans will be communicated to everyone on site prior to commencing construction.
- 4) If roots are encountered during construction, they should be first avoided if possible, and if they must be cut they should be cut cleanly with a saw as opposed to shattered with machinery.
- 5) Care should be taken not to break any limbs of trees within the 20 m shoreline setback during construction. If any limbs are accidentally broken, they should be cleanly cut with a saw.
- 6) Should any issues arise with regards to potential changes to the impact on trees during development, it is recommended that an arborist be retained to provide guidance on the least impact approach to development around trees.



REPORT TO COUNCIL

Council Meeting: November 29th, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: MONICA WHITNEY-BROWN, PLANNING ASSISTANT

FILE No: 3060-20 DP22-016

SUBJECT: ENVIRONMENTAL DEVELOPMENT PERMIT FOR 736 ODYSSEY LANE

REPORT No: 22-166

ATTACHMENT(S): APPENDIX A – APPLICATION
APPENDIX B – DEVELOPMENT PERMIT 22-16

RECOMMENDATION(S):

THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-16 for the property at 736 Odyssey Lane to allow the construction of a single-family dwelling on a lot designated within a Terrestrial Ecosystem and Marine Shoreline development permit area.

BACKGROUND:

This Environmental Development Permit application was received October 7th, 2022, for the property located at 736 Odyssey Lane PID 027475590, Strata Lot B, Plan VIS6520, District Lot 283, Clayoquot Land District (the “**subject property**”). The applicant is planning the construction of a single-family dwelling with a secondary vacation rental use.



Figure 1- Subject Property

Development Permit Area V, VI & VII (Terrestrial, Riparian and Marine Shoreline)

The subject property falls within the Official Community Plan's "[Environmental Development Permit Areas](#)" (figure 2). Environmental Development Permit Areas are established to guide development and land use to ensure the most sensitive environmental features of a site are protected and ecological functions are not needlessly disturbed by development activities.

For all land lying within an Environmental DP area, an assessment of the site, its natural features and the development must be undertaken and the applicant must submit a report prepared by a Qualified Environmental Professional (QEP) establishing conditions for development. Staff draft the associated development permit terms and conditions from the recommendations in the QEP's report.

The subject property falls within the Terrestrial Ecosystem and Marine Shoreline Development Permit Areas, which includes lands designated as mature forests and wildlife habitat and designated within 30m above and below the natural boundary of the sea.

DISCUSSION:

This application is for a single-family dwelling and accessory tourist commercial vacation rental units on a lot designated as within the Terrestrial Ecosystem and Marine Shoreline Environmental Development Permit Area. The applicant has retained a Qualified Environmental Professional (QEP) to prepare a report on the environmental considerations of the site and develop recommendations to guide development. The QEP concludes that "the proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat" and "no negative impacts to the marine ecosystem are anticipated", provided that mitigation measures are followed. These recommendations have been compiled by staff into the terms and conditions of this development permit, attached as Appendix B.

The recommendations of the QEP highlight the importance of avoiding disturbance to vegetation during bird nesting season and taking steps to minimize damage to structural tree roots.



Figure 2- Applicant property in Schedule 'E' Environmental Development Permit Area Map

ZONING:

The subject property falls within the CD-5E zone permitting a single-family dwelling with a secondary vacation rental (VR-1) use.

ANALYSIS OF OPTIONS:

A	Authorize the issuance of Development Permit 22-16	Pros	<ul style="list-style-type: none"> Allows applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines.
		Cons	<ul style="list-style-type: none"> Development in sensitive environmental areas may occur.
		Implications	<ul style="list-style-type: none"> Approval will allow the application to proceed.

B	<u>Pros</u>	<ul style="list-style-type: none"> This development will not proceed at this time
	<u>Cons</u>	<ul style="list-style-type: none"> Does not allow applicant’s development to proceed in a manner which a QEP has deemed consistent with the OCP development permit guidelines. Staff would need direction from Council on how to apply the Environmental Development Permit guidelines established in the OCP bylaw and/or make amendments to the DP area guidelines.
	<u>Implications</u>	<ul style="list-style-type: none"> Additional staff time will be required to follow up with applicant and consultants. Council should provide reasoning for how the proposal does not meet DP guidelines.
	<u>Suggested Motion</u>	<ul style="list-style-type: none"> THAT Council direct staff to advise the applicant that Development Permit 22-16 is rejected due to _____.

Policy or Legislative Impacts:

- This application is consistent with the Official Community Plan, the Zoning Bylaw and the *Local Government Act*.

NEXT STEPS

If this application is approved the attached DP will be signed by the Director of Community Planning, issued to the applicant, and notice will be filed with the Land Title Office.

The applicant or subsequent owners of the subject property will be required to meet all conditions of the permit and any other conditions set out by Council for the proposed development.

Respectfully submitted: MONICA WHITNEY-BROWN, PLANNING ASSISTANT
 BRUCE GREIG, DIRECTOR OF COMMUNITY PLANNING
 DUANE LAWRENCE, CAO

District of Ucluelet

Planning Department
200 Main Street, Ucluelet, BC
V0R 3A0, P.O. Box 999
tel 250-726-4770 fax 250 726 7335

Development Application

Type of Application

An application is submitted for one or more of the following:

- Official Community Plan Amendment
- Zoning Bylaw Amendment
- Development Permit (no variances)
- Development Permit (with variances)
- Development Permit Amendment
- Development Variance Permit
- Temporary Use Permit
- Board of Variance
- Strata Conversion
- Subdivision

Description of Property

Civic Address (es): 736 Odyssey Lane, Ucluelet BC V0R 3A0
Legal Description: Lot B Plan VIS6520 Block 283 Section DL 09

Applicant Information

Notice of Disclosure to Applicant(s): The following contact information will be available to the public and may be posted on the Districts' website to allow interested parties to contact you about this application.

Applicant name: Martijn Zuydervelt Company name: What Ever Wood Works Ltd.
Mailing address: 2520 8th Ave, Port Alberni Postal Code: [REDACTED]
Tel : [REDACTED] Cell : [REDACTED]
Email : [REDACTED] Fax : [REDACTED]

The undersigned owner/authorized agent of the owner makes an application as specified herein, and declares that the information submitted in support of the application is true and correct in all respects.

Applicant Signature: [Signature] Date: Oct 7, 2022

Registered Owner(s)

List all registered owners. For strata properties, provide accompanying authorization from all strata owners (not just strata corp.). If the owner is an incorporated company/society, attach a current corporate/society search or "notice of directors".

Registered Owner (s) name: Fredric Peter Carman
Mailing address: [REDACTED] Postal Code: [REDACTED]
Tel : [REDACTED] Cell : [REDACTED]
Email : [REDACTED] Fax : [REDACTED]

Freedom of Information and Protection of Privacy Act (FOIPPA): Personal information is collected, used and disclosed under the authority of the Local Government Act, and section 26 (c) of the FOIPPA. The information will be used for the purpose of processing this application.

Owner Signature: [Signature] Date: Oct 7, 2022

Office Use Only:

Folio No.: <u>180-552</u>	File No.: <u>DP 22-16</u>	Date: <u>OCT. 7/22</u>	Receipt No.: <u>71903</u>	Fee: <u>\$300.00 + \$30 for Title</u>
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District of Ucluelet
200 Main Street, Ucluelet, BC
V0R3A0, P.O. Box 999
250-726-7744

Owners Authorization Form

Type of Permit

- | | |
|---|---|
| <input type="checkbox"/> Single Family Dwelling | <input type="checkbox"/> Occupant Load |
| <input type="checkbox"/> Duplex | <input type="checkbox"/> Addition |
| <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Alteration/Renovation |
| <input type="checkbox"/> Multi-Family Residential, No. of Units _____ | <input type="checkbox"/> Secondary Suite |
| <input type="checkbox"/> Commercial, No. of Units _____ | <input type="checkbox"/> Demolition |
| <input type="checkbox"/> Industrial, No. of Units _____ | <input checked="" type="checkbox"/> Excavation |
| <input type="checkbox"/> Public Buildings | <input type="checkbox"/> Occupant Load |
| <input type="checkbox"/> Mobile/Manufactured Home | <input type="checkbox"/> Other <u>STR/ BnB Business License</u> |

Description of Property

Civic Address: 736 Odyssey Lane, Ucluelet BC V0R 3A0 Zoning: _____

Legal Description: Lot B Plan VIS6520 Block 283 Section _____ DL 09

This document shall serve to notify the District of Ucluelet that I am/we are the legal owner(s) of the property described above and do authorize the person indicated below ("Authorized Agent") to act on my/our behalf on all matters pertaining to any of the Permit Application(s) indicated below for the property described above, including the authority to endorse on my/our behalf application documents.

Property Owner Information (please complete additional forms for more than four owners)

- Owner name: Fredric Peter Carman
Mailing address: _____ Postal Code: _____
Tel: _____ Cell: _____ Email: _____
Owner Signature:  Date: 10/07/2022
- Owner name: _____
Mailing address: _____ Postal Code: _____
Tel: _____ Cell: _____ Email: _____
Owner Signature: _____ Date: _____
- Owner name: _____
Mailing address: _____ Postal Code: _____
Tel: _____ Cell: _____ Email: _____
Owner Signature: _____ Date: _____
- Owner name: _____
Mailing address: _____ Postal Code: _____
Tel: _____ Cell: _____ Email: _____
Owner Signature: _____ Date: _____

Authorized Agent

Agent's name: Martijn Zuydervelt Company Name: What Ever Wood Works LTD.

Mailing address: 2520 8th Ave. Port Alberni BC. Postal Code: V9Y 2L7

Tel: _____ Cell: _____ Email: _____

Agent Signature: Martijn Zuydervelt Date: 10/07/2022

Note: All registered owners of the property shall sign this Authorization Form. Use additional sheets if necessary. New Authorization Forms shall be submitted to the District of Ucluelet if the ownership of the property changes prior to issuance of the Permit applied for or before final approval is granted. It is understood that, until the District of Ucluelet is advised in writing that the agent no longer acts on behalf, the District of Ucluelet will deal exclusively with my agent with respect to all matters pertaining to the proposed building permit and are under no obligation to communicate with me or any other person other than my agent with regard to these permits. This authorization supersedes all previous appointments.

Office Use Only

Folio No:	Permit No:	Date:	
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Owners Authorization - Multiple 2021

736 Odyssey Lane

October 7, 2022

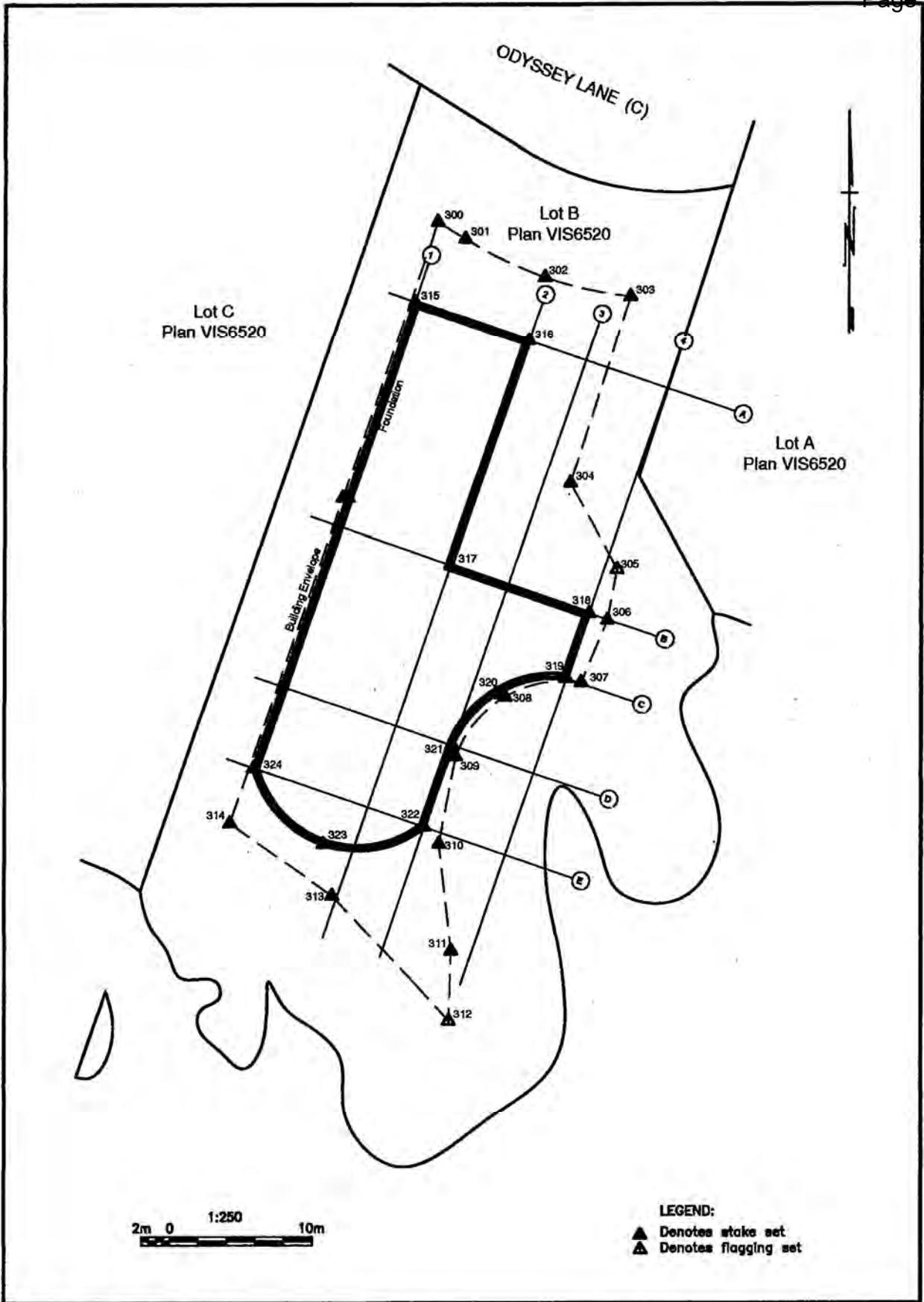
To whom this may concern:

We are looking to build a 3000-4000 square foot home on the property with potential vacation rentals. The home will be very well build and compliment the surrounding houses.

Sincerely yours,

Martijn Zuydervelt

Acting agent for Fredric Carman



**TITLE: 736 ODYSSEY LANE, UCLUELET, BC
LAYOUT SKETCH**

UNDERHILL GEOMATICS LTD. <small>ENGINEERS AND SURVEYORS 481C 4TH STREET COURTENAY, BC, V9N 1G9 TEL (250) 875-4999</small>	<small>DRAWN BY</small> TG	<small>JOB NO.</small> V21CV001	<small>DRAWING NO.</small> LCV-2021-001	<small>REV.</small> 0
	<small>SCALE</small> 1:250m	<small>DATE OF SURVEY</small> SEPT 28, 2022	<small>CLIENT</small> Environmental Development Permit for 736 Odyssey Lane Monica Whitney Bro...	



LEGEND

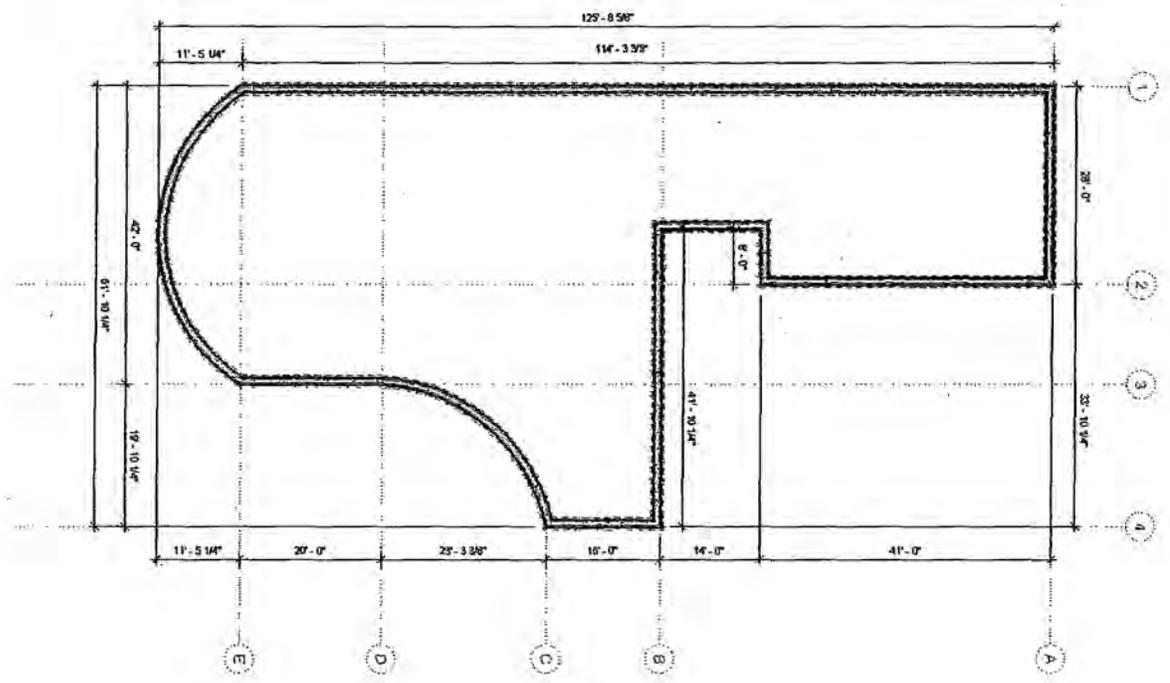
--- PROPERTY BOUNDARY
--- ROAD
--- STRUCTURE
--- FENCE
--- DRAINAGE
--- ELEVATION

TITLE
Site Plan for 736 Odyssey Lane, Monica, BC
Prepared by: [Firm Name]
Date: [Date]

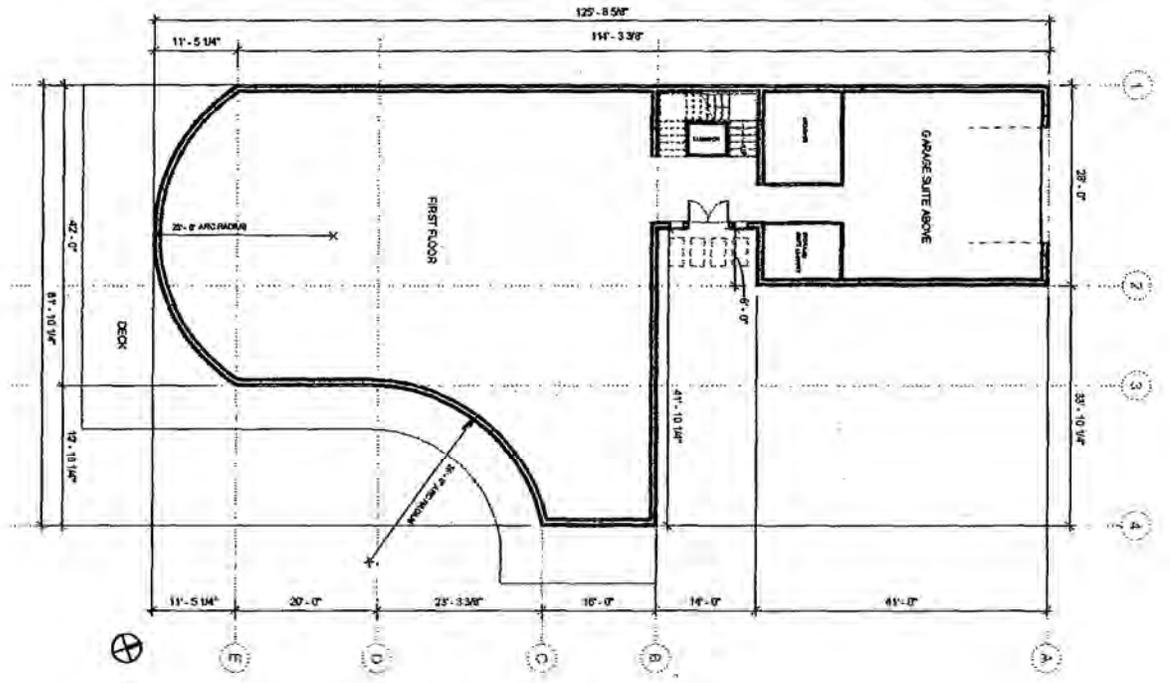
SCALE
1:500

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[Date]

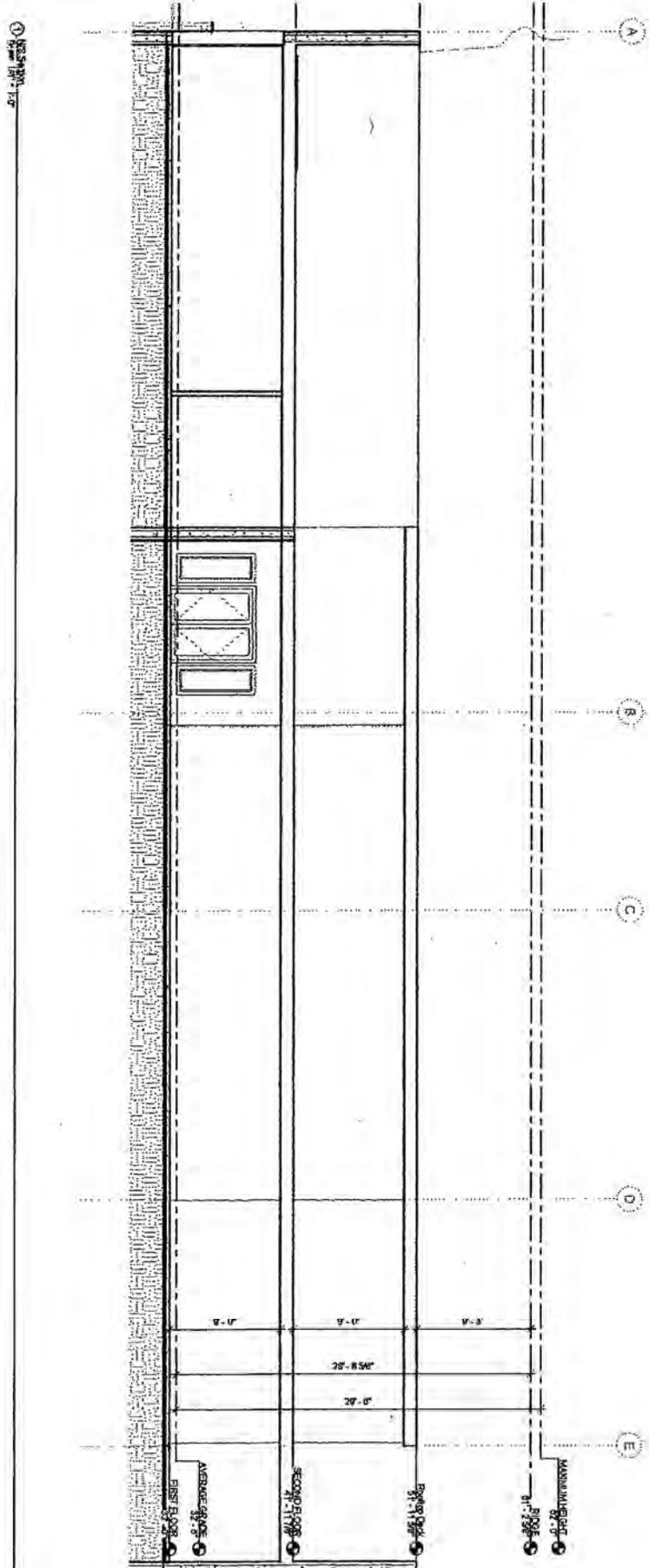
① **Site Plan**
Scale: 1/8" = 1'-0"



② **First Floor**
Scale: 1/8" = 1'-0"



<p>GENERAL NOTE: THESE DRAWINGS HAVE BEEN PREPARED TO COMPLY WITH CURRENT PERMITS AND STANDARDS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.</p>							
<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DESCRIPTION	DATE			
NO.	DESCRIPTION	DATE					
<p>PROJECT NAME: STELLA 736 ODYSSEY LANE LITTLEFIELD, SC VPR 340</p>							
<p>DATE: 03-2022</p>							
<p>SCALE: 1/8" = 1'-0"</p>							
<p>PROJECT NUMBER: A 1.02</p>							



FORSYTH
BUILDING SOLUTIONS

7362118
fah@forsythbuildingsolutions.com

GENERAL NOTES:
THESE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO CURRENT RESIDENTIAL STANDARDS. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION COSTS EXCEEDING THAT ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DIMENSIONS, MATERIALS AND SPECIFICATIONS PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

DIMENSIONS & DETAILS:
- EXTERIOR DIMENSIONS AND SPACES TO FINISH OF RESIDUAL AND FACE OF STUD
- INTERIOR DIMENSIONS AND SPACES TO FINISH OF RESIDUAL AND FACE OF STUD

NO.	DESCRIPTION	DATE
Revisions		

Project Name:
STELLA
736 ODYSSEY LANE
VICTORIA, BC
V8R 3A0

Title: Conceptual
Date: 04.11.22
Drawn By: JLF
Sheet Title: Section
Scale: As Noted
Sheet Number: A3.01



DEVELOPMENT PERMIT DP22-16

Pursuant to section 488 of the Local Government Act, R.S.B.C 2015 C.1 as amended:

1. This Development Permit is issued to:
Fredric Carman, [REDACTED]
(The "Permittee")
2. This Development Permit applies to, and only to, those lands within the District of Ucluelet described below, and the buildings, structures, and other development thereon:
736 Odyssey Lane, PID 027475590, Strata Lot B, Plan VIS6520, District Lot 283, Clayoquot Land District
(The "Lands").
3. This Permit authorizes the following improvements on the Lands:
 - a) Construction of a single-family dwelling and associated landscape and hardscape works as shown in the attached site plan (Schedule 1)
4. The permit holder, as a condition of issuance of this Permit, agrees to comply with the requirements and conditions of Schedule 2 which is attached hereto and forms part of this permit.
5. In addition to compliance with the requirements of Schedule 2, the permit holder must adhere to all conditions of the Qualified Environmental Professional report in Schedule 3 which is attached hereto and forms part of this permit.
6. Prior to any site disturbance or contractor mobilization, the permit holder must erect fencing or otherwise demarcate the area of disturbance and contact the District of Ucluelet to arrange a pre-construction inspection.
7. The work authorized by this Permit may only be carried out in compliance with all federal, provincial, and municipal statutes, regulations, and bylaws. The owner is responsible for ensuring that the timing of the work and any required permits or notifications by other agencies are obtained as required to comply with all applicable regulations.
8. Notice shall be filed in the Land Title Office under Section 503 of the Local Government Act, and upon such filing, the terms of this Permit or any amendment hereto shall be binding upon all persons who acquire an interest in the land affected by this Permit.
9. The owner shall substantially commence the development within 24 months of the date of issuance, after which this permit shall be null and void.
10. This Permit is NOT a Building Permit.



11. The Municipality's Chief Administrative Officer is hereby authorized to approve minor amendments to the plans provided that such amendments are consistent with the overall character and intent of the original plans.

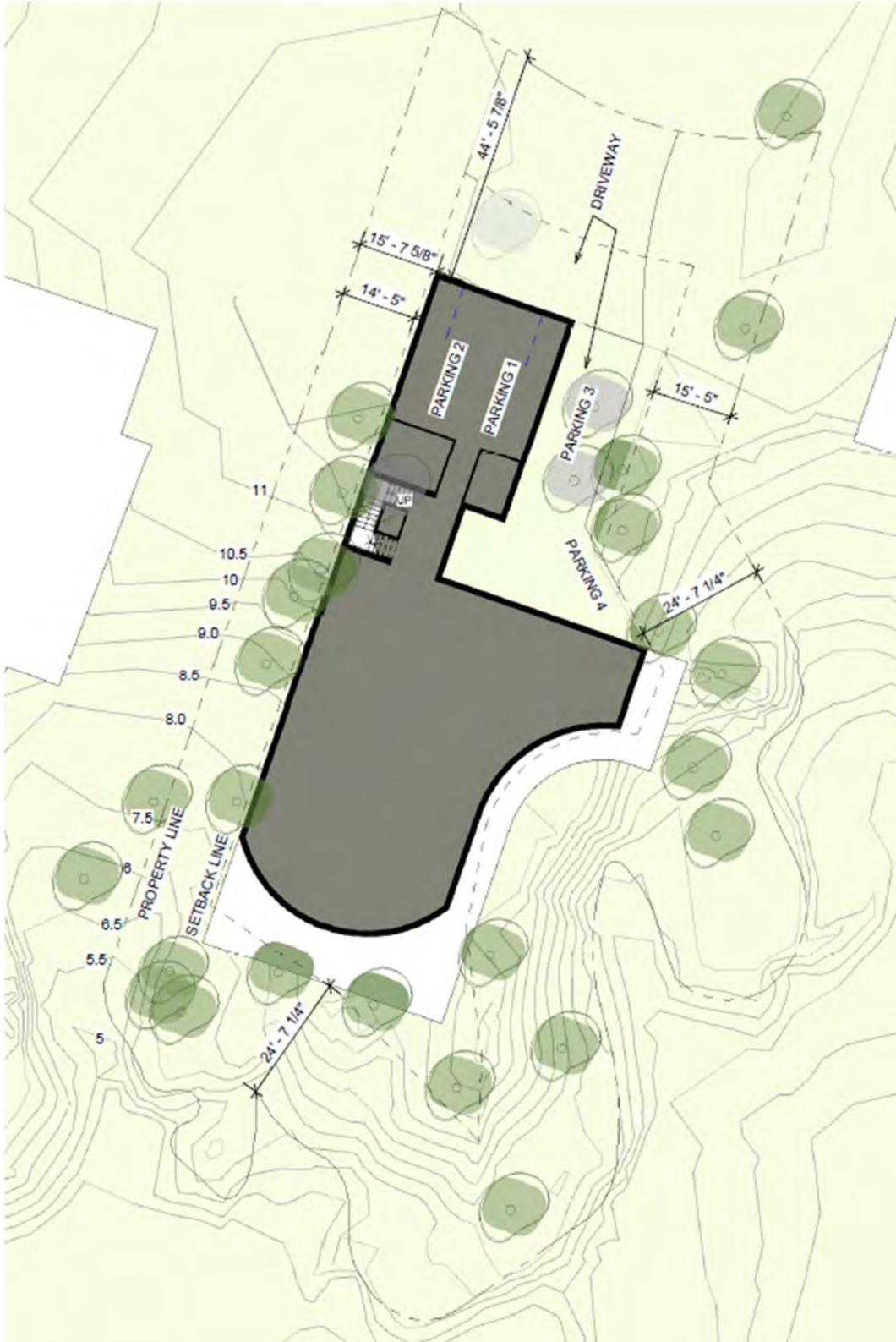
AUTHORIZING RESOLUTION passed by the Municipal Council on the day of , 2022 .

ISSUED the day of , 2022.

Bruce Greig
Director of Community Planning



Schedule 1





Schedule 2 Conditions

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby to comply with all following Impact Reductions and Mitigation Measures, determined by Qualified Environmental Professional as necessary to avoid negative impacts to environmental habitats within and adjacent to the Property.

1. In order to avoid contravention of the provincial *Wildlife Act* or the federal *Migratory Bird Convention Act*, vegetation clearing for the project must be conducted outside of the breeding bird nesting season (March 26 to August 7).
 - a. If clearing within this window is unavoidable, a pre-clearing nesting bird survey must be conducted by the undersigned biologist.
2. The site must be kept dry, free of pooling water during the late winter and spring months and care must be taken to not impact amphibians during construction.
3. If pumping of water is required it must be conveyed to a well vegetated area for filtration.
4. It's understood that an arborist will be retained to review the property. It's advised that the arborist report be reviewed by the undersigned biologist and that any recommendation made therein with regards to protective measures to adjacent and nearby retained trees be implemented. Trees must be sectioned down in a manner that avoids impacts to adjacent trees and properties.
5. Care must be taken to avoid damage to structural tree roots of retained trees. Generally, the drip line is a good reference for where these roots occur. If grubbing is required in the drip line of large tree roots of suspected retained trees are encountered, care must be taken to avoid damaging these roots. A small excavator or hand digging should be utilized for grubbing around structural roots to avoid excessive damage. Use of structural soils should be considered for driveway base if tree roots from retained trees are present.



Schedule 3 QEP Report

As a condition of the issuance of this Permit, the Permittee representing the Lands hereby agrees to comply with all following conditions in the Environmental Assessment Report.



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September 28, 2022

Martijn Zuydervelt
What Ever Wood Works Ltd.
2520 8th Ave.
Port Alberni, BC
V9Y 2L7

RE: BIOPHYSICAL ASSESSMENT TO SUPPORT A TERRESTRIAL ECOSYSTEMS (DPA – V) AND MARINE SHORELINE (DPA – VII) DEVELOPMENT PERMIT APPLICATION OF A PROPOSED HOME AT 736 ODYSSEY LANE, UCLUELET, BC

Dear Mr. Zuydervelt,

Introduction

Redd Fish Restoration (Redd Fish) was asked by Mr. Zuydervelt (builder) to assess the location of a proposed 3,000sqft home at 736 Odyssey Lane, Strata Lot B, Plan VI56520, District Lot 283, Clayoquot Land District (PID 027475590). This property is within the traditional territory of the Yuuʷuʷiʔath̓ Nation.

The property is within the DPA – V Terrestrial Ecosystems (Mature Forest) and DPA – VII Marine Shoreline areas as shown on Schedule E of the District of Ucluelet Official Community Plan (2020). This assessment was conducted to address the requirements in Section 488(1)(a) of the District of Ucluelet Official Community Plan.

Methods

Readily available background information sources were reviewed, including:

- BC Conservation Data Center (iMap BC 2021)
- Habitat Wizard (2021)
- District of Ucluelet online mapping portal

The provincial Ecosystems Explorer Database was queried for potential species occurrences in the region based on the following criteria:

- Red or Blue-listed OR SARA listed Animals OR Plants OR Ecosystem; AND 'Municipalities': Ucluelet

The results of this query (Appendix B) produce some obscure results that included species well outside of their home ranges. This list was sorted into species with potential to occur and those that are considered very unlikely based on one or both of the following:

- Study area outside of known range for the species or species is not known in the area; and
- No suitable habitat in the study area



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Note that invertebrates identified in this query were beyond the scope of this assessment and were not assessed.

On September 15, 2022 Chris Dolphin of Redd Fish visited the site to assess potential interactions with environmental resources and identify potential adverse effects or environmental regulatory conformance issues.

An approximately 10 m buffer around the site was assessed for wildlife habitat value and important wildlife features, within the constraints of adjacent private property. The proposed building site was searched more thoroughly for cavities, burrows or other important wildlife habitat features or environmental sensitivities (e.g., wetlands and watercourses). Conditions were documented with field notes and site photographs. A georeferenced PDF map uploaded to Avenza Maps™ on a GPS enabled handheld device was used to navigate the study area and georeferenced important habitat features.

Results

The property is within the Southern Very Wet Hypermaritime Coastal Western Hemlock Variant (CWHvh1) biogeoclimatic zone (iMapBC 2021). This zone is characterized by a cool wet climate with very little snowfall where the Pacific Ocean moderates temperatures throughout the year (Green and Klinka 1994). Forests on zonal sites are dominated by western hemlock (*Tsuga heterophylla*) commonly mixed with amabilis fir (*Abies amabilis*) and western redcedar (*Thuja plicata*). Salal (*Gaultheria shallon*), red huckleberry, evergreen huckleberry (*Vaccinium ovatum*), and deer fern (*Strutheopteris spicant*) are common understory species. Typical bryophytes include *Rhytidiadelphus loreus* and *Hylocomium splendens* (step moss).

The property is on the south side of Odyssey Lane and waterfront to a large rock outcropping bordering the Pacific Ocean. The site for the proposed home was previously cleared, minimal additional clearing is required (Photos 1-2).

The property hosts a few large sitka spruce (*Picea sitchensis*), western hemlock (*Tsuga heterophylla*) and western redcedar (*Thuja plicata*). The understory is mainly comprised of Salal (*Gaultheria shallon*) where minimal disturbance has occurred. Other species noted on the property (mostly along the access road edges) included scattered red alder (*Alnus rubra*), braken fern (*Pteridium aquilinum*), thimbleberry (*Rubus parviflorus*), golden rod (*Solidago sp.*), horsetail (*Equisetum sp.*) and two blue-listed California wax-myrtle (*Morella californica*) plants at the northeast end of the existing access road.

The builder has proposed to remove a large western hemlock at the northwest end of the access road to widen the proposed driveway. Sitka spruce and western redcedar bordering the south edge of the property are also proposed to be felled or limbed (Photo 3). Some of these trees have a distinct lean and



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will be in close proximity to the proposed home. It is understood the builder will retain an arborist to complete a danger tree assessment of these trees.

No conspicuous stick nests were noted within the footprint or nearby adjacent trees. No other important wildlife habitat features or environmental sensitivities were noted within the assessment area. The property is bordered to the east and west with previously constructed private residences, approximately 10 m in each direction.

No construction within 30 m of the natural boundary of the ocean is proposed and no negative impacts to the marine ecosystem are anticipated.

The BC Conservation Data Center (BC CDC) iMap application was queried for marked known occurrence records of species at risk (Appendix B: Figure 2). One occurrence overlaps the site: tall woolly-heads (*Psilocarphus elatior*) is a provincially red-listed species and is federally listed as Endangered on Schedule 1 of the Species At Risk Act (SARA). This plant occurs in wet areas and vernal wetlands (Klinkenberg 2020). No suitable habitat to support this species was noted within the proposed development area.

Record of northern red-legged frog (*Rana aurora*) occurs approximately 1000 m east of the property. Red-legged frog are provincially blue-listed and listed as ‘Special Concern’ under the federal SARA. The development area is unlikely to support breeding habitat for obligate aquatic breeding amphibian species as no suitable wetlands were noted.

There are records of California wax-myrtle (*Morella californica*) southeast of the site on the Ucluelet peninsula (Appendix B: Figure 2). This species is provincially blue-listed but is relatively common in the region. Two California wax-myrtle plants were noted at the northeast end of the access road on the property.

No streams or wetlands were observed within the study area. The provincial Habitat Wizard (2022) does not indicate any streams within one kilometer of the study area. Schedule E of the District of Ucluelet OCP (2021) indicates one stream approximately 100 m west of the proposed development, identified as #30 with a channel width of 1.33 m and fish bearing status. This feature was not assessed in the field; however, no impacts are anticipated as a result of the proposed development.

Table 1. Wildlife species at risk from the BC Ecosystems Explorer Query with potential of occurring on the site.

Group	Common Name	Scientific Name	BC List	SARA Schedule	
				Schedule	Designation
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern



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amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern
amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue		
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened
birds	Pine Grosbeak, <i>carlottae</i> subspecies	<i>Pinicola enucleator carlottae</i>	Blue		
birds	Purple Martin	<i>Progne subis</i>	Blue		
birds	Rough-legged Hawk	<i>Buteo lagopus</i>	Blue		
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered
mammals	Townsend's Big-eared Bat	<i>Corynorhinus townsendii</i>	Blue		
SARA = Species at Risk Act					

Of the species in Table 1, northern red-legged frog, wandering salamander (*Aneides vagrans*) and western toad (*Anaxyrus boreas*) have a low likelihood of occurring on the site based on a lack of proximal breeding habitat and professional experience in the region. The lack of suitable breeding habitat and the marginal suitability of the habitat to support overwintering amphibians likely precludes use. Impacts to amphibians is considered negligible.

The proposed project, as currently projected, is not expected to have any adverse effects to wildlife or wildlife habitat.

Recommendations

In order to avoid potential impacts to breeding birds and subsequent contravention of the provincial *Wildlife Act* or the federal *Migratory Bird Convention Act*, vegetation clearing for the project should be conducted outside of the breeding bird nesting season which is March 26 to August 7 for forested



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ecosystems in the region (within the A1 Nesting Zone; Environment Canada 2021). If clearing within this window is unavoidable, a pre-clearing nesting bird survey should be conducted

Care should be taken to not impact amphibians during construction. Keep the site dry, avoid creating pooling water during the late winter and spring months and take care to not physically impact amphibians on the site, if they occur.

The site is relatively level. Sediment generation or erosion issues are not expected or should be easily managed. If pumping of water is required it should be conveyed to a well vegetated area for filtration.

It's understood that an arborist will be retained to review the property. It's advised that the arborist report be reviewed and that any recommendation made therein with regards to protective measures to adjacent and nearby retained trees be implemented. Trees must be sectioned down in a manner that avoids impacts to adjacent trees and properties.

Care should be taken to avoid damage to structural tree roots of retained trees. Generally, the drip line is a good reference for where these roots occur. If grubbing is required in these areas, or if large tree roots of suspected retained trees are encountered, care should be taken to avoid damaging these roots. A small excavator or hand digging should be utilized for grubbing around structural roots to avoid excessive damage. Use of structural soils should be considered for driveway base if tree roots from retained trees are present.

Note that conformance with building codes and other bylaws is not part of this assessment.



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Closure

We trust that the above meets your current requirements, if you have any questions please contact the undersigned.

Regards,

Redd Fish Restoration

Prepared by:

Chris Dolphin, B.Sc

Reviewed by:



Kim Poupard, R.P.Bio

Attachments: Site Photos
Appendix A: Figure 1
Appendix B: Figure 2, Tables B1-B3

References:

Environment Canada. 2021. General Nesting Periods of Migratory Birds. Available online:
<https://www.canada.ca/en/environment-climate-change/services/avoiding-harm-migratory-birds/general-nesting-periods/nesting-periods.html> (accessed September 26, 2022).

BC Conservation Data Center. Online mapping application maintained by the Province of British Columbia. Available at: <http://maps.gov.bc.ca/ess/hm/cdc/> (accessed September 26, 2022).

BC Habitat Wizard. Online mapping application maintained by the Province of British Columbia. Available at: <https://maps.gov.bc.ca/ess/hm/habwiz/> (accessed September 26, 2022).

Klinkenberg, Brian. (Editor) 2020. E-Flora BC: Electronic Atlas of the Plants of British Columbia [eflora.bc.ca]. Lab for Advanced Spatial Analysis, Department of Geography, University of British Columbia, Vancouver.



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Acts and Regulations:

Migratory Birds Regulations. 2022. Status update on the modernization of the Migratory Birds Regulations, 2022. Available online at: <https://www.canada.ca/en/environment-climate-change/services/migratory-game-bird-hunting/status-update-modernization-regulations.html> (accessed September 26, 2022).

District of Ucluelet. 2020. Official Community Plan. Bylaw No 1236 (2020). Adopted Jan 2022. Available online at: <https://ucluelet.ca/community/planning-building-bylaw/community-planning-and-zoning/official-community-plan> (accessed September 26, 2022).



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Photo 1. Showing area previously cleared for proposed home.



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Photo 2. Showing previously cleared access road and area for home. Note the western hemlock on the right of photo is proposed to be felled to widen the access road.



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Photo 3. Showing trees proposed to be limbed or felled bordering the south edge of the property. Note the leaning western redcedar at centre photo.



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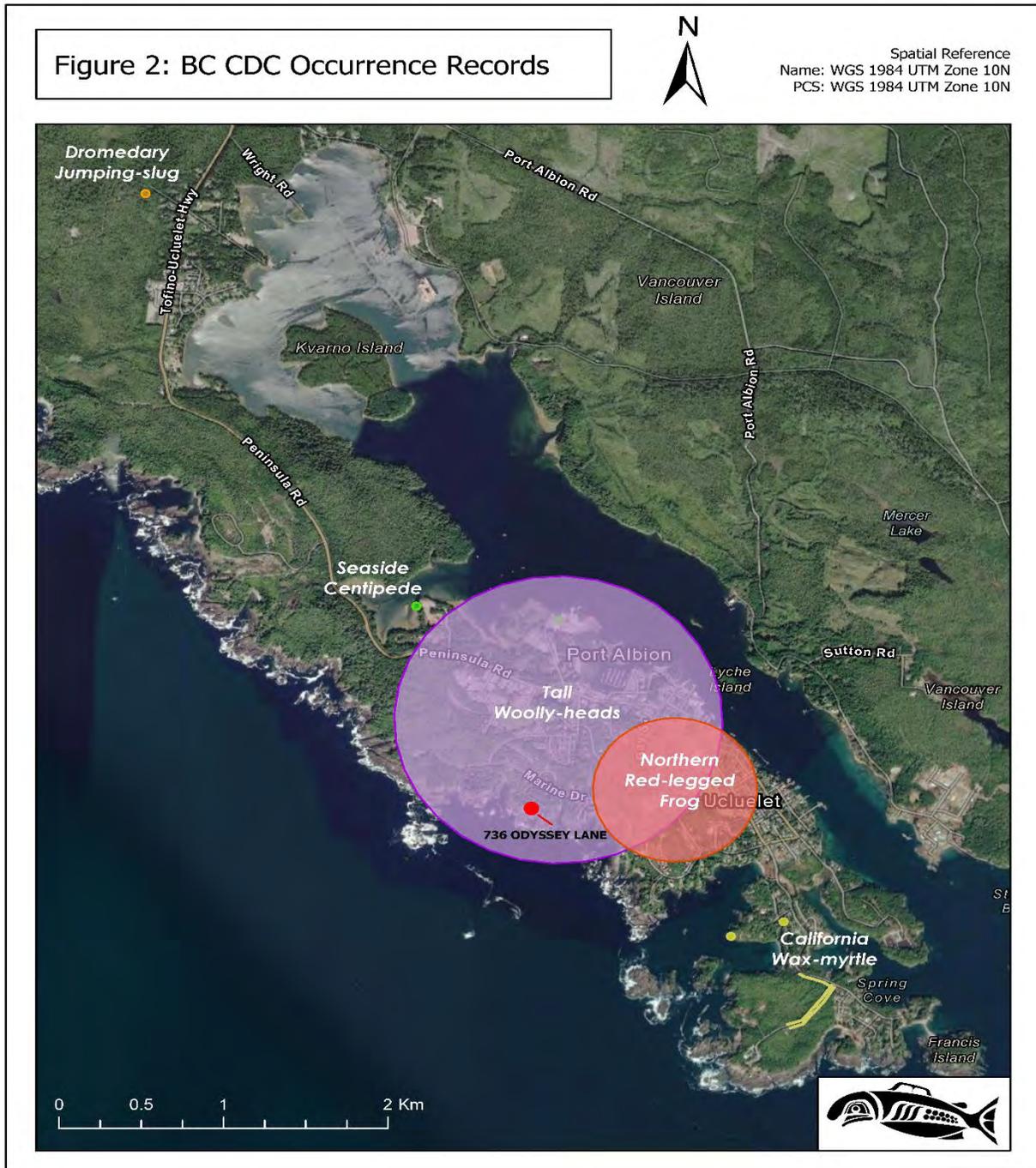
APPENDIX A: SURVEY DRAWINGS





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APPENDIX B: BC ECOSYSTEMS EXPLORER SEARCH RESULTS





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Table B1. BC Ecosystems Explorer Query Results and Likelihood of Occurrence Assessment.

Group	English Name	Scientific Name	BC List	SARA* Schedule	SARA Status	MBCA*	Likelihood of Occurrence (Yes / No)	Rational (If No) ¹
amphibians	Coastal Tailed Frog	<i>Ascaphus truei</i>	Yellow	1	Special Concern		No	1
amphibians	Northern Red-legged Frog	<i>Rana aurora</i>	Blue	1	Special Concern		Yes	
amphibians	Wandering Salamander	<i>Aneides vagrans</i>	Blue	1	Special Concern		Yes	
amphibians	Western Toad	<i>Anaxyrus boreas</i>	Yellow	1	Special Concern		Yes	
birds	American Avocet	<i>Recurvirostra americana</i>	Blue			Y	No	2
birds	American Bittern	<i>Botaurus lentiginosus</i>	Blue			Y	No	2
birds	American Golden-Plover	<i>Pluvialis dominica</i>	Blue			Y	No	2
birds	American White Pelican	<i>Pelecanus erythrorhynchos</i>	Red				No	2
birds	Ancient Murrelet	<i>Synthliboramphus antiquus</i>	Blue	1	Special Concern	Y	No	2
birds	Band-tailed Pigeon	<i>Patagioenas fasciata</i>	Blue	1	Special Concern	Y	Yes	
birds	Barn Owl	<i>Tyto alba</i>	Blue	1	Threatened		No	1, 2
birds	Barn Swallow	<i>Hirundo rustica</i>	Yellow	1	Threatened	Y	Yes	
birds	Bay-breasted Warbler	<i>Setophaga castanea</i>	Red			Y	No	1, 2
birds	Black Scoter	<i>Melanitta americana</i>	Blue			Y	No	2
birds	Black Swift	<i>Cypseloides niger</i>	Blue	1	Endangered	Y	Yes	
birds	Black-crowned Night-heron	<i>Nycticorax nycticorax</i>	Red			Y	No	1, 2
birds	Black-throated Green Warbler	<i>Setophaga virens</i>	Blue			Y	Yes	
birds	Bobolink	<i>Dolichonyx oryzivorus</i>	Red	1	Threatened	Y	No	1, 2
birds	Brandt's Cormorant	<i>Urile penicillatus</i>	Red				No	2
birds	Brant	<i>Branta bernicla</i>	Blue			Y	No	2



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birds	California Gull	<i>Larus californicus</i>	Red			Y	No	2
birds	Canada Goose, <i>occidentalis</i> subspecies	<i>Branta canadensis</i> <i>occidentalis</i>	Red				No	2
birds	Canada Warbler	<i>Cardellina canadensis</i>	Blue	1	Threatened	Y	No	1
birds	Caspian Tern	<i>Hydroprogne caspia</i>	Blue			Y	No	2
birds	Cassin's Auklet	<i>Ptychoramphus aleuticus</i>	Red	1	Special Concern	Y	No	2
birds	Common Murre	<i>Uria aalge</i>	Red			Y	No	2
birds	Common Nighthawk	<i>Chordeiles minor</i>	Blue	1	Threatened	Y	No	2
birds	Connecticut Warbler	<i>Oporornis agilis</i>	Blue			Y	No	1, 2
birds	Double-crested Cormorant	<i>Nannopterum auritum</i>	Blue				No	2
birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Yellow	1	Special Concern	Y	Yes	
birds	Forster's Tern	<i>Sterna forsteri</i>	Red			Y	No	2
birds	Great Blue Heron, <i>fannini</i> subspecies	<i>Ardea herodias fannini</i>	Blue	1	Special Concern		Yes	
birds	Green Heron	<i>Butorides virescens</i>	Blue			Y	No	2
birds	Gyr Falcon	<i>Falco rusticolus</i>	Blue				No	1, 2
birds	Horned Lark, <i>strigata</i> subspecies	<i>Eremophila alpestris strigata</i>	Red	1	Endangered		No	2
birds	Horned Puffin	<i>Fratercula corniculata</i>	Red			Y	No	2
birds	Hudsonian Godwit	<i>Limosa haemastica</i>	Red			Y	No	2
birds	Lark Sparrow	<i>Chondestes grammacus</i>	Blue			Y	No	1
birds	Lewis's Woodpecker	<i>Melanerpes lewis</i>	Blue	1	Threatened	Y	No	1, 2
birds	Long-billed Curlew	<i>Numenius americanus</i>	Yellow	1	Special Concern	Y	No	2
birds	Marbled Murrelet	<i>Brachyramphus marmoratus</i>	Blue	1	Threatened	Y	No	2
birds	Northern Fulmar	<i>Fulmarus glacialis</i>	Red			Y	No	2
birds	Northern Goshawk, <i>laingi</i> subspecies	<i>Accipiter gentilis laingi</i>	Red	1	Threatened		No	2

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birds	Northern Pygmy-owl, <i>swarthi</i> subspecies	<i>Glaucidium gnoma swarthi</i>	Blue				No	2
birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Yellow	1	Threatened	Y	Yes	
birds	Peregrine Falcon	<i>Falco peregrinus</i>	No Status	1	Special Concern		No	2
birds	Peregrine Falcon, <i>anatum</i> subspecies	<i>Falco peregrinus anatum</i>	Red	1	Special Concern		No	2
birds	Peregrine Falcon, <i>pealei</i> subspecies	<i>Falco peregrinus pealei</i>	Blue	1	Special Concern		No	2
birds	Pine Grosbeak, <i>carlottae</i> subspecies	<i>Pinicola enucleator carlottae</i>	Blue				Yes	
birds	Prairie Falcon	<i>Falco mexicanus</i>	Red				No	2
birds	Purple Martin	<i>Progne subis</i>	Blue			Y	Yes	
birds	Red Knot	<i>Calidris canutus</i>	Blue	1	Threatened / Endangered	Y	No	2
birds	Red-necked Phalarope	<i>Phalaropus lobatus</i>	Blue	1	Special Concern	Y	No	2
birds	Rough-legged Hawk	<i>Buteo lagopus</i>	Blue				Yes	
birds	Rusty Blackbird	<i>Euphagus carolinus</i>	Blue	1	Special Concern		No	2
birds	Sage Thrasher	<i>Oreoscoptes montanus</i>	Red	1	Endangered	Y	No	2
birds	Short-billed Dowitcher	<i>Limnodromus griseus</i>	Blue			Y	No	2
birds	Short-eared Owl	<i>Asio flammeus</i>	Blue	1	Special Concern		No	1, 2
birds	Smith's Longspur	<i>Calcarius pictus</i>	Blue			Y	No	2
birds	Surf Scoter	<i>Melanitta perspicillata</i>	Blue			Y	No	2
birds	Thick-billed Murre	<i>Uria lomvia</i>	Red			Y	No	2
birds	Tufted Puffin	<i>Fratercula cirrhata</i>	Blue			Y	No	2
birds	Upland Sandpiper	<i>Bartramia longicauda</i>	Red			Y	No	2
birds	Wandering Tattler	<i>Tringa incana</i>	Blue			Y	No	2
birds	Western Grebe	<i>Aechmophorus occidentalis</i>	Red	1	Special Concern	Y	No	2



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birds	Western Screech-Owl	<i>Megascops kennicottii</i>	No Status	1	Threatened		Yes	
birds	Western Screech-Owl, <i>kennicottii</i> subspecies	<i>Megascops kennicottii kennicottii</i>	Blue	1	Threatened		Yes	
birds	White-tailed Ptarmigan, <i>saxatilis</i> subspecies	<i>Lagopus leucura saxatilis</i>	Blue				No	2
birds	Yellow-billed Cuckoo	<i>Coccyzus americanus</i>	Red			Y	No	2
birds	Yellow-breasted Chat	<i>Icteria virens</i>	Red	1	Endangered	Y	No	2
bivalves	Long Fingernailclam	<i>Musculium transversum</i>	Blue				N/A	
bivalves	Olympia Oyster	<i>Ostrea lurida</i>	Blue	1	Special Concern		N/A	
bivalves	Striated Fingernailclam	<i>Sphaerium striatinum</i>	Blue				N/A	
bivalves	Swamp Fingernailclam	<i>Musculium partumeium</i>	Blue				N/A	
gastropods	Blue-grey Taildropper	<i>Prophysaon coeruleum</i>	Blue	1	Threatened		N/A	
gastropods	Broadwhorl Tightcoil	<i>Pristiloma johnsoni</i>	Blue				N/A	
gastropods	Dromedary Jumping-slug	<i>Hemphillia dromedarius</i>	Red	1	Threatened		N/A	
gastropods	Evening Fieldslug	<i>Deroceras hesperium</i>	Red				N/A	
gastropods	Haida Gwaii Slug	<i>Staala gwaii</i>	Red	1	Special Concern		N/A	
gastropods	Meadow Rams-horn	<i>Planorbula campestris</i>	Blue				N/A	
gastropods	Northern Abalone	<i>Haliotis kamtschatkana</i>	Red	1	Endangered		N/A	
gastropods	Oregon Forestsnail	<i>Allogona townsendiana</i>	Red	1	Endangered		N/A	
gastropods	Prairie Fossaria	<i>Galba bulimoides</i>	Blue				N/A	
gastropods	Puget Oregonian	<i>Cryptomastix devia</i>	Red	1	Extinct		N/A	
gastropods	Rocky Mountain Physa	<i>Physella propinqua</i>	Blue				N/A	
gastropods	Sunset Physa	<i>Physella virginia</i>	Blue				N/A	
gastropods	Threaded Vertigo	<i>Nearctula sp. 1</i>	Blue	1	Special Concern		N/A	
gastropods	Warty Jumping-slug	<i>Hemphillia glandulosa</i>	Red	1	Special Concern		N/A	
gastropods	Western Thorn	<i>Carychium occidentale</i>	Blue				N/A	

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gastropods	Wrinkled Marshsnail	<i>Stagnicola caperata</i>	Blue				N/A	
insects	Alkali Bluet	<i>Enallagma clausum</i>	Blue				N/A	
insects	Audouin's Night-stalking Tiger Beetle	<i>Omus audouini</i>	Red	1	Threatened		N/A	
insects	Autumn Meadowhawk	<i>Sympetrum vicinum</i>	Blue				N/A	
insects	Black Petaltail	<i>Tanypteryx hageni</i>	Blue				N/A	
insects	Blue Dasher	<i>Pachydiplax longipennis</i>	Blue				N/A	
insects	Boisduval's Blue, <i>blackmorei</i> subspecies	<i>Icaricia icarioides blackmorei</i>	Blue				N/A	
insects	Clodius Parnassian, <i>claudianus</i> subspecies	<i>Parnassius clodius claudianus</i>	Blue				N/A	
insects	Common Ringlet, <i>insulana</i> subspecies	<i>Coenonympha californica insulana</i>	Red				N/A	
insects	Common Wood-nymph, <i>incana</i> subspecies	<i>Cercyonis pegala incana</i>	Red				N/A	
insects	Dun Skipper	<i>Euphyes vestris</i>	Blue	1	Threatened		N/A	
insects	Edith's Checkerspot, <i>taylori</i> subspecies	<i>Euphydryas editha taylori</i>	Red	1	Endangered		N/A	
insects	Edwards' Beach Moth	<i>Anarta edwardsii</i>	Red	1	Endangered		N/A	
insects	Greenish Blue, <i>insulanus</i> subspecies	<i>Icaricia saepiolus insulanus</i>	Red	1	Endangered		N/A	
insects	Johnson's Hairstreak	<i>Callophrys johnsoni</i>	Red				N/A	
insects	Large Marble, <i>insulanus</i> subspecies	<i>Euchloe ausonides insulanus</i>	Red	1	Extinct		N/A	
insects	Monarch	<i>Danaus plexippus</i>	Red	1	Special Concern		N/A	
insects	Moss' Elfin, <i>mossii</i> subspecies	<i>Callophrys mossii mossii</i>	Red				N/A	
insects	Propertius Duskywing	<i>Erynnis propertius</i>	Red				N/A	

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insects	Rocky Mountain Parnassian, <i>olympiannus</i> subspecies	<i>Parnassius smintheus olympiannus</i>	Blue				N/A	
insects	Sand-verbena Moth	<i>Copablepharon fuscum</i>	Red	1	Endangered		N/A	
insects	Silver-spotted Skipper	<i>Epargyreus clarus</i>	Blue				N/A	
insects	Silver-spotted Skipper, <i>californicus</i> subspecies	<i>Epargyreus clarus californicus</i>	Red				N/A	
insects	Sinuuous Snaketail	<i>Ophiogomphus occidentis</i>	Blue				N/A	
insects	Western Branded Skipper, <i>oregonia</i> subspecies	<i>Hesperia colorado oregonia</i>	Red				N/A	
insects	Western Pine Elfin, <i>sheltonensis</i> subspecies	<i>Callophrys eryphon sheltonensis</i>	Blue				N/A	
insects	Western Pondhawk	<i>Erythemis collocata</i>	Blue				N/A	
insects	Zerene Fritillary, <i>bremnerii</i> subspecies	<i>Speyeria zerene bremnerii</i>	Red				N/A	
Lampreys	Cowichan Lake Lamprey	<i>Entosphenus macrostomus</i>	Red	1	Threatened		N/A	
Lampreys	Western Brook Lamprey (Morrison Creek Population)	<i>Lampetra richardsoni</i> pop. 1	Red	1	Endangered		N/A	
malacostracans	Quatsino Cave Amphipod	<i>Stygobromus quatsinensis</i>	Blue				N/A	
mammals	Caribou (Northern Mountain Population)	<i>Rangifer tarandus</i> pop. 15	Blue	1	Special Concern		No	1,2
mammals	Ermine, <i>anguinae</i> subspecies	<i>Mustela richardsonii anguinae</i>	Blue					
mammals	Fisher	<i>Pekania pennanti</i>	No Status					
mammals	Grey Whale	<i>Eschrichtius robustus</i>	Blue	1	Special Concern		No	2

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mammals	Grizzly Bear	<i>Ursus arctos</i>	Blue	1	Special Concern	No	2
mammals	Hoary Bat	<i>Lasiurus cinereus</i>	Blue				
mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Blue	1	Endangered	Yes	
mammals	Mountain Goat	<i>Oreamnos americanus</i>	Blue			No	1, 2
mammals	Roosevelt Elk	<i>Cervus elaphus roosevelti</i>	Blue			No	2
mammals	Steller Sea Lion	<i>Eumetopias jubatus</i>	Blue	1	Special Concern	No	2
mammals	Townsend's Big-eared Bat	<i>Corynorhinus townsendii</i>	Blue			Yes	
mammals	Townsend's Vole, <i>cowani</i> subspecies	<i>Microtus townsendii cowani</i>	Red				
mammals	Vancouver Island Marmot	<i>Marmota vancouverensis</i>	Red	1	Endangered	No	1, 2
mammals	Western Water Shrew, <i>brooksi</i> subspecies	<i>Sorex navigator brooksi</i>	Blue				
mammals	Wolverine	<i>Gulo gulo</i>	No Status	1	Special Concern	No	1
mammals	Wolverine, <i>luscus</i> subspecies	<i>Gulo gulo luscus</i>	Blue	1	Special Concern	No	1
mammals	Wolverine, <i>vancouverensis</i> subspecies	<i>Gulo gulo vancouverensis</i>	Red	1	Special Concern		
mammals	Yuma Myotis	<i>Myotis yumanensis</i>	Blue				
oligochaetes	an earthworm	<i>Arctiostrotus perrieri</i>	Blue			N/A	
ray-finned fishes	Bull Trout	<i>Salvelinus confluentus</i>	Blue			No	2
ray-finned fishes	Cutthroat Trout, <i>clarkii</i> subspecies	<i>Oncorhynchus clarkii clarkii</i>	Blue			No	2
ray-finned fishes	Eulachon	<i>Thaleichthys pacificus</i>	Blue			No	2

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ray-finned fishes	Inconnu	<i>Stenodus leucichthys</i>	Blue				No	2
ray-finned fishes	Misty Lake "Lake" Stickleback	<i>Gasterosteus sp. 18</i>	Red	1	Endangered		No	2
ray-finned fishes	Misty Lake "Stream" Stickleback	<i>Gasterosteus sp. 19</i>	Red	1	Endangered		No	2
reptiles	Common Sharp-tailed Snake	<i>Contia tenuis</i>	Red	1	Endangered		No	2
reptiles	Gophersnake	<i>Pituophis catenifer</i>	No Status	1	Extinct / Threatened		No	1, 2
reptiles	Gophersnake, <i>catenifer</i> subspecies	<i>Pituophis catenifer catenifer</i>	Red	1	Extinct		No	1, 2
turtles	Leatherback Sea Turtle	<i>Dermochelys coriacea</i>	Red	1	Endangered		No	2
turtles	Northern Painted Turtle	<i>Chrysemys picta</i>	No Status	1	Endangered / Special Concern		No	2
turtles	Northern Painted Turtle - Pacific Coast Population	<i>Chrysemys picta</i> pop. 1	Red	1	Endangered		No	2

* SARA = *Species at Risk Act*; MBCA = *Migratory Bird Convention Act*

Notes 1:

1. Outside of known range for the species or species is not known in the area
2. No suitable habitat in the study area



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Table B2. BC Ecosystems Explorer Query Results for Vegetation.

Name Category	English Name	Scientific Name	BC List	SARA Schedule	SARA Status	Habitats (Type / Subtype / Dependence)
Bryophyte	rigid apple moss	<i>Bartramia aprica</i>	Red	1	Endangered	Rock/Sparsely Vegetated Rock / Garry Oak Coastal Bluffs / Facultative - frequent use
Bryophyte	Roell's brotherella	<i>Brotherella roellii</i>	Red	1	Endangered	
Bryophyte	banded cord-moss	<i>Entosthodon fascicularis</i>	Blue	1	Special Concern	Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use
Bryophyte	acutleaf small limestone moss	<i>Seligeria acutifolia</i>	Red	1	Endangered	
Vascular Plant	yellow sand-verbena	<i>Abronia latifolia</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	pink sand-verbena	<i>Abronia umbellata</i> var. <i>breviflora</i>	Red	1	Endangered	Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	dwarf maiden-hair fern	<i>Adiantum aleuticum</i> var. <i>subpumilum</i>	Blue			Other Unique Habitats / Beach / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use
Vascular Plant	mountain hemlock dwarf mistletoe	<i>Arceuthobium tsugense</i> ssp. <i>mertensianae</i>	Blue			Forest / Conifer Forest - Mesic (average) / Unknown



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Vascular Plant	three-forked mugwort	<i>Artemisia furcata</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Alpine/Tundra / Krummholtz / Unknown ; Alpine/Tundra / Tundra / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Talus / Unknown
Vascular Plant	corrupt spleenwort	<i>Asplenium adulterinum</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use
Vascular Plant	river bulrush	<i>Bolboschoenus fluviatilis</i>	Blue			Other Unique Habitats / Estuary / Facultative - frequent use ; Riparian / Riparian Shrub / Facultative - frequent use ; Wetland / Marsh / Obligate
Vascular Plant	two-edged water-starwort	<i>Callitriche heterophylla</i> var. <i>heterophylla</i>	Unknown			Lakes / Pond/Open Water / Facultative - occasional use
Vascular Plant	beach bindweed	<i>Calystegia soldanella</i>	Blue			Other Unique Habitats / Sand Dune / Obligate
Vascular Plant	angled bittercress	<i>Cardamine angulata</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use ; Riparian / Riparian Forest / Facultative - frequent use ; Stream/River / Stream/River / Facultative - frequent use



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Vascular Plant	estuarine paintbrush	<i>Castilleja ambigua</i> var. <i>ambigua</i>	Blue			Grassland/Shrub / Garry Oak Maritime Meadow / Facultative - frequent use ; Other Unique Habitats / Estuary / Facultative - frequent use ; Other Unique Habitats / Vernal Pools/Seasonal Seeps / Facultative - frequent use
Vascular Plant	Fischer's chickweed	<i>Cerastium fischerianum</i>	Blue			Grassland/Shrub / Meadow / Facultative - occasional use ; Lakes / Lake / Facultative - frequent use ; Riparian / Riparian Herbaceous / Facultative - occasional use ; Stream/River / Stream/River / Facultative - frequent use
Vascular Plant	tooth-leaved monkey-flower	<i>Erythranthe dentata</i>	Blue			Riparian / Riparian Forest / Unknown ; Stream/River / Stream/River / Unknown
Vascular Plant	white glacier lily	<i>Erythronium montanum</i>	Blue			Alpine/Tundra / Alpine/Subalpine Meadow / Unknown ; Other Unique Habitats / Avalanche Track / Unknown
Vascular Plant	dwarf red fescue	<i>Festuca rubra</i> ssp. <i>mediana</i>	Yellow			
Vascular Plant	Haida Gwaii avens	<i>Geum schofieldii</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	American glehnia	<i>Glehnia littoralis</i> ssp. <i>leiocarpa</i>	Blue			Other Unique Habitats / Beach / Obligate ; Other Unique Habitats / Sand Dune / Obligate

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Vascular Plant	hairy goldfields	<i>Lasthenia maritima</i>	Blue			Ocean / Marine Island / Unknown ; Rock/Sparsely Vegetated Rock / Cliff / Unknown ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Unknown
Vascular Plant	silky beach pea	<i>Lathyrus littoralis</i>	Red			Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use
Vascular Plant	California wax-myrtle	<i>Morella californica</i>	Blue			Grassland/Shrub / Shrub - Natural / Unknown
Vascular Plant	redwood sorrel	<i>Oxalis oregana</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Forest / Old Forest / Facultative - occasional use
Vascular Plant	whitebark pine	<i>Pinus albicaulis</i>	Blue	1	Endangered	Forest / Conifer Forest - Dry / Facultative - frequent use ; Forest / Conifer Forest - Mesic (average) / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Cliff / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Talus / Facultative - frequent use
Vascular Plant	black knotweed	<i>Polygonum paronychia</i>	Blue			Other Unique Habitats / Beach / Facultative - frequent use ; Other Unique Habitats / Sand Dune / Facultative - frequent use



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Vascular Plant	Alaska holly fern	<i>Polystichum setigerum</i>	Blue			Forest / Conifer Forest - Moist/wet / Facultative - frequent use ; Riparian / Riparian Forest / Facultative - occasional use ; Riparian / Riparian Shrub / Facultative - occasional use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use ; Stream/River / Stream/River / Facultative - occasional use
Vascular Plant	wedge-leaf primrose	<i>Primula cuneifolia</i> ssp. <i>saxifragifolia</i>	Blue			Grassland/Shrub / Meadow / Facultative - frequent use ; Rock/Sparsely Vegetated Rock / Rock/Sparsely Vegetated Rock / Facultative - occasional use
Vascular Plant	Smith's fairybells	<i>Prosartes smithii</i>	Blue			Forest / Conifer Forest - Moist/wet / Unknown ; Forest / Deciduous/Broadleaf Forest / Unknown ; Forest / Mixed Forest (deciduous/coniferous mix) / Unknown ; Riparian / Riparian Forest / Unknown
Vascular Plant	leafless wintergreen	<i>Pyrola aphylla</i>	Blue			Forest / Conifer Forest - Mesic (average) / Facultative - frequent use
Vascular Plant	Hibberson's trillium	<i>Trillium hibbersonii</i>	Blue			Rock/Sparsely Vegetated Rock / Cliff / Facultative - occasional use



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Table B3. BC Ecosystems Explorer Query Results for Ecosystems.

English Name	Scientific Name	Ecosystem Group	BC List
red alder / salmonberry / common horsetail	<i>Alnus rubra</i> / <i>Rubus spectabilis</i> / <i>Equisetum arvense</i>	Terrestrial Realm - Flood Group (F): Low Bench Flood Class (Fl)	Blue
Lyngbye's sedge herbaceous vegetation	<i>Carex lyngbyei</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
large-headed sedge Herbaceous Vegetation	<i>Carex macrocephala</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
tufted hairgrass - meadow barley	<i>Deschampsia cespitosa</i> ssp. <i>beringensis</i> - <i>Hordeum brachyantherum</i>	Estuarine Realm: Estuarine Meadow Class (Ed)	Red
common spike-rush Herbaceous Vegetation	<i>Eleocharis palustris</i> Herbaceous Vegetation	Wetland Realm - Mineral Wetland Group: Marsh Wetland Class (Wm); Estuarine Realm: Estuarine Marsh Class (Em)	Blue
dune wildrye - beach pea	<i>Leymus mollis</i> ssp. <i>mollis</i> - <i>Lathyrus japonicus</i>	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
Sitka spruce / Pacific reedgrass	<i>Picea sitchensis</i> / <i>Calamagrostis nutkaensis</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / slough sedge	<i>Picea sitchensis</i> / <i>Carex obnupta</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / salal	<i>Picea sitchensis</i> / <i>Gaultheria shallon</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue
Sitka spruce / Oregon beaked-moss	<i>Picea sitchensis</i> / <i>Kindbergia oregana</i>	Terrestrial Realm - Forest: Coniferous - dry	Blue



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Sitka spruce / false lily-of-the-valley Very Wet Hypermaritime 1	<i>Picea sitchensis</i> / <i>Maianthemum dilatatum</i> Very Wet Hypermaritime 1	Terrestrial Realm - Flood Group (F): Highbench Flood	Red
Sitka spruce / Pacific crab apple	<i>Picea sitchensis</i> / <i>Malus fusca</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / sword fern	<i>Picea sitchensis</i> / <i>Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue
Sitka spruce / tall trisetum	<i>Picea sitchensis</i> / <i>Trisetum canescens</i>	Terrestrial Realm - Flood Group (F): Middle Bench Flood Class (Fm); Terrestrial Realm - Forest: Coniferous - moist/wet	Red
dune bluegrass Herbaceous Vegetation	<i>Poa macrantha</i> Herbaceous Vegetation	Terrestrial Realm - Beach Group (B): Beachland Class (Bb)	Red
beaked ditch-grass Herbaceous Vegetation	<i>Ruppia maritima</i> Herbaceous Vegetation	Estuarine Realm: Estuarine Marsh Class (Em)	Red
Sitka willow - Pacific willow / skunk cabbage	<i>Salix sitchensis</i> - <i>Salix lasiandra</i> var. <i>lasiandra</i> / <i>Lysichiton americanus</i>	Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
American glasswort - sea-milkwort	<i>Sarcocornia pacifica</i> - <i>Lysimachia maritima</i>	Estuarine Realm: Estuarine Marsh Class (Em)	Red
western redcedar - Sitka spruce / skunk cabbage	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Lysichiton americanus</i>	Terrestrial Realm - Forest: Coniferous - moist/wet; Wetland Realm - Mineral Wetland Group: Swamp Wetland Class (Ws)	Blue
western redcedar - Sitka spruce / devil's club Very Wet Hypermaritime 1	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Oplopanax horridus</i> Very Wet Hypermaritime 1	Terrestrial Realm - Forest: Coniferous - moist/wet	Blue

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western redcedar - Sitka spruce / sword fern	<i>Thuja plicata</i> - <i>Picea sitchensis</i> / <i>Polystichum munitum</i>	Terrestrial Realm - Forest: Coniferous - dry; Terrestrial Realm - Forest: Coniferous - mesic	Blue
western hemlock - Sitka spruce / lanky moss	<i>Tsuga heterophylla</i> - <i>Picea sitchensis</i> / <i>Rhytidiadelphus loreus</i>	Terrestrial Realm - Forest: Coniferous - mesic	Blue

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Subject: AVICC 1st Call for 2023 Resolutions and Nominations for AVICC Executive
Date: Tuesday, November 8, 2022 10:11:46 AM
Attachments: [2023 AVICC Call for Resolutions.pdf](#)
[2023 Call for Nominations- form.pdf](#)

[External]

Please forward to elected officials, the CAO and Corporate Officer.

The AVICC Executive is putting out a first call for resolutions to be considered at the 2023 convention. The convention is being planned as an in-person event to be held April 14-16 in Nanaimo at the Vancouver Island Conference Centre. AVICC member local governments may now submit board or council endorsed resolutions following the requirements outlined in the attached call for resolutions.

The deadline for resolutions is **noon on Thursday February 9, 2023**. Please follow the guidelines to ensure resolutions are submitted that provide AVICC and UBCM with clear policy direction for advocacy. Sending in resolutions well ahead of the deadline is strongly encouraged to allow time to review submissions with the sponsoring local government.

The second document attached has information on nominating members to serve on the 2023/2024 AVICC Executive Committee. The deadline to receive nominations is also **noon on Thursday February 9, 2023**.

There will be a second email sent out with information on submitting suggestions for workshops and speakers at the convention. That email will also have information on how to book hotel rooms in Nanaimo for the convention.

We look forward to seeing you in Nanaimo in April!



2023 AGM & CONVENTION

RESOLUTIONS NOTICE REQUEST FOR SUBMISSIONS

The AVICC Executive is calling for resolutions to be considered at the 2023 AGM and Convention that, subject to public health order restrictions, will be held in Nanaimo at the Vancouver Island Conference Centre as an in-person event from April 14-16, 2023.

Members are now asked to submit resolutions with the requirements outlined in the following pages.

DEADLINE FOR RESOLUTIONS

AVICC must receive all resolutions by: **4:30 pm, Thursday, February 9, 2022**

IMPORTANT SUBMISSION REQUIREMENTS

To submit a resolution to the AVICC for consideration please send:

1. One copy as a **word document** by email to avicc@ubcm.ca by the deadline; AND
2. One copy of the resolution by regular mail that may be received after the deadline to:
AVICC, 525 Government Street, Victoria, BC V8V 0A8

AVICC's goal is to have resolutions that can be clearly understood, and that have specific actions. If a resolution is endorsed, it's "therefore clause" will form the basis for advocacy work with other levels of government and agencies. Detailed guidelines for preparing a resolution follow, but the basic requirements are:

- Resolutions are only accepted from AVICC member local governments, and must have been endorsed by the board or council.
- Members are responsible for submitting accurate resolutions. AVICC recommends that local government staff assist in drafting the resolutions, check the accuracy of legislative references, and be able to answer questions from AVICC & UBCM about each resolution. Please contact AVICC & UBCM for assistance in drafting the resolution.
- Each resolution **must include a separate backgrounder** that is a maximum of 3 pages and specific to a **single** resolution. Do not submit backgrounders for multiple resolutions. The backgrounder may include links to other information sources and reports.
- Sponsors should be prepared to speak to their resolutions.
- Resolutions must be relevant to other local governments within AVICC rather than specific to a single member government.
- The resolution must have at least one "whereas" clause and should not contain more than two "whereas" clauses. Each whereas clause must only have **one sentence**.

AVICC AGM & Convention – 2023 April 14-16

LATE AND OFF THE FLOOR RESOLUTIONS

- a. A resolution submitted after the regular deadline is treated as a "Late Resolution". Late Resolutions need to be received by AVICC by noon on **Wednesday, April 12th, 2023**.
- b. Late resolutions are not included in the resolutions package sent out to members before the Convention. They are included in the Report on Late Resolutions that is distributed on-site.
- c. The Resolutions Committee only recommends late resolutions for debate if the topic was not known prior to the regular deadline date or if it is emergency in nature. Late resolutions require a special motion at the convention to admit for debate.
- d. Late resolutions are considered after all resolutions printed in the Resolutions Book have been debated. The time is set out in the program, and is normally on Sunday morning.
- e. Off the Floor resolutions must be submitted in writing to the Chair of the Resolutions Session, and copies must be made available to all delegates no later than Sunday morning.

UBCM RESOLUTION PROCEDURES

UBCM urges members to submit resolutions to Area Associations for consideration. Resolutions endorsed at Area Association annual meetings are submitted automatically to UBCM for consideration and do not need to be re-submitted to UBCM by the sponsor.

UBCM and its member local governments have observed that submitting resolutions first to Area Associations results in better quality resolutions overall. If absolutely necessary, however, local governments may submit council or board endorsed resolutions directly to UBCM prior to June 30. Should this be necessary, detailed instructions are available on the UBCM website.

UBCM RESOLUTIONS PROCESS

1. Members submit resolutions to their Area Association for debate.
2. The Area Association submits resolutions endorsed at its Convention to UBCM.
3. The UBCM Resolutions Committee reviews the resolutions for submission to its Convention.
4. Resolutions endorsed at the UBCM Convention are submitted to the appropriate level of government for response.
5. UBCM will forward the response to the resolution sponsor for review.

UBCM RESOLUTIONS GUIDELINES

The Construction of a Resolution:

All resolutions contain a preamble – the whereas clause(s) – and an enactment clause. The preamble describes *the issue* and the enactment clause outlines *the action being* requested of AVICC and/or UBCM. A resolution should answer the following three questions:

- a) **What is the problem?**
- b) **What is causing the problem?**
- c) **What is the best way to solve the problem?**

Preamble:

The preamble begins with "WHEREAS", and is a concise paragraph about the nature of the problem or the reason for the request. It answers questions (a) and (b) above, stating the problem and its cause, and should explain, clearly and briefly, the reasons for the resolution.

The preamble should contain no more than two "WHEREAS" clauses. Supporting background documents can describe the problem more fully if necessary. Do not add extra clauses.

Only one sentence per WHEREAS clause.

Enactment Clause:

The enactment clause begins with the phrase "Therefore be it resolved", and is a concise sentence that answers question (c) above, suggesting the best way to solve the problem. **The enactment should propose a specific action by AVICC and/or UBCM.**

Keep the enactment clause as short as possible, and clearly describe the action being requested. The wording should leave no doubt about the proposed action.

HOW TO DRAFT A RESOLUTION

1. Address one specific subject in the text of the resolution.

Since your community seeks to influence attitudes and inspire action, limit the scope of a resolution to one specific subject or issue. Delegates will not support a resolution if it is unclear or too complex for them to understand quickly. If there are multiple topics in a resolution, the resolution may be sent back to the sponsor to rework and resubmit, and may end up as a Late Resolution not admitted for debate.

2. For resolutions to be debated at UBCM, focus on issues that are province-wide.

The issue identified in the resolution should be relevant to other local governments across BC. This will support productive debate and assist UBCM to represent your concern effectively to the provincial or federal government on behalf of all BC municipalities and regional districts. Regionally specific resolutions may be referred back to the AVICC, and may not be entered for debate during the UBCM Convention.

3. Use simple, action-oriented language and avoid ambiguous terms.

Explain the background briefly and state the desired action clearly. Delegates can then debate the resolution without having to try to interpret complicated text or vague concepts.

4. Check legislative references for accuracy.

Research the legislation on the subject so the resolution is accurate. Where necessary, identify:

- the correct jurisdictional responsibility (responsible ministry or department, and whether provincial or federal government); and
- the correct legislation, including the title of the act or regulation.

5. Provide factual background information.

Even a carefully written resolution may not be able to convey the full scope of the problem or the action being requested. Provide factual background information to ensure that the resolution is understood fully so that members understand what they are debating and UBCM can advocate effectively with other levels of government and agencies.

Each resolution **must include a separate backgrounder** that is a maximum of 3 pages and specific to a single resolution. Do not submit backgrounders that relate to multiple resolutions. The backgrounder may include links to other information sources and reports.

The backgrounder should outline what led to the presentation and adoption of the resolution by the local government, and can link to the report presented to the council or board along with the resolution. Resolutions submitted without background information **will not be considered** until the sponsor has provided adequate background information. This could result in the resolution being returned and having to be resubmitted as a late resolution.

6. Construct a brief, descriptive title.

A title identifies the intent of the resolution and helps eliminate the possibility of misinterpretation. It is usually drawn from the "enactment clause" of the resolution. For ease of printing in the Annual Report and Resolutions Book and for clarity, a title should be no more than three or four words.

TEMPLATE FOR A RESOLUTION

Whereas << *this is the area to include an issue statement that outlines the nature of the problem or the reason for the request* >> ;

And whereas << *if more information is useful to answer the questions - what is the problem? what is causing the problem?>> :*

Therefore be it resolved that AVICC & UBCM << *specify here the action(s) that AVICC & UBCM are being asked to take on, and what government agency the associations should be contacting to solve the problem identified in the whereas clauses* >>.

If absolutely necessary, there can be a second enactment clause (the “therefore” clause that specifies the action requested) with the following format:

And be it further resolved that << *specify any additional actions needed to address the problem identified in the whereas clauses* >>.



2023 AGM & CONVENTION

CALL FOR NOMINATIONS FOR AVICC EXECUTIVE

AVICC members elect directors to the Executive Committee at the AGM. The Executive Committee ensures that the policies set by the general membership are carried forward, and provides direction for the Association between annual meetings. This circular is notice of the AVICC Executive Committee positions open for nomination, and the procedures for nomination.

1. POSITIONS OPEN TO NOMINATIONS

The following positions are open for nomination:

- President
- First Vice-President
- Second Vice-President
- Director at Large (3 positions)
- Electoral Area Representative

2. NOMINATION PROCESS AND QUALIFICATIONS FOR OFFICE

Candidates must be an elected official of an AVICC local government member and must be nominated by two elected officials of an AVICC local government member. Background information on the key responsibilities and commitments of an AVICC Executive member is provided following the nomination form. The Chair of the 2023 Nominating Committee is Past President Ian Morrison.

3. NEXT STEPS

The Nominating Committee will review the credentials of each candidate for eligibility. A Report on Nominations including a photo and biography will be prepared under the direction of the Nominating Committee, and distributed prior to the Convention.

**To be included in the Report on Nominations,
Nominations Must Be Received by 4:30 PM, Thursday, February 9, 2023**

4. AT CONVENTION

Candidates may also be nominated at the Convention from the floor. Candidates and their two nominators must be elected officials of an AVICC local government member.

5. FURTHER INFORMATION

All enquiries should be directed to:

**Past President Ian Morrison, Chair, 2022 Nominating Committee
c/o AVICC**

**525 Government Street
Victoria, BC V8V 0A8**

Phone: (604) 270-8226 ext 221

email: avicc@ubcm.ca

AVICC AGM & Convention – April 14-16, 2022 – Nanaimo

NOMINATIONS FOR THE 2023-24 AVICC EXECUTIVE

We are qualified under the AVICC Constitution to nominate¹ a candidate and we nominate:

Candidate Name: _____

Local Government Position (Mayor/Councillor/Director): _____

Local Government Represented: _____

AVICC Executive Office Nominated For: _____

MEMBERS NOMINATING THE CANDIDATE:

Printed Name: _____ Printed Name: _____

Position: _____ Position: _____

Muni/RD: _____ Muni/RD: _____

Signature: _____ Signature: _____

CONSENT FORM

I consent to this nomination and attest that I am qualified to be a candidate for the office I have been nominated for pursuant to the AVICC Bylaws and Constitution². I also agree to provide the following information to avicc@ubcm.ca by **4:30 PM, Thursday February 9, 2023**.

- Photo in digital format
- Biographical information of approximately 300 words that may be edited by AVICC

Printed Name: _____

Current Position: _____

Muni/RD: _____

Signature: _____

Date: _____

¹ Nominations require two elected officials of local governments that are members of the Association.

² All nominees must be an elected official of an AVICC local government member. Nominees for the position of Electoral Area Representative must be an Electoral Area Director.

**Return To: Past President Ian Morrison, Chair, Nominating Committee,
c/o AVICC, 525 Government Street, Victoria, BC V8V 0A8
or scan and email to avicc@ubcm.ca**

AVICC AGM & Convention – April 14-16, 2022 – Nanaimo



BACKGROUND INFORMATION FOR CANDIDATES TO THE AVICC EXECUTIVE

1. RESPONSIBILITY OF AVICC EXECUTIVE

Under the AVICC Bylaws:

“The Executive shall manage or supervise the management of the Society”

See <http://avicc.ca/about-the-avicc/constitution-bylaws/> for a complete copy of the AVICC Constitution and Bylaws.

2. AVICC EXECUTIVE STRUCTURE

- President
- First Vice-President
- Second Vice-President
- Director at Large (three positions)
- Electoral Area Representative
- Past President

COMMITTEES

The President may appoint Executive members to AVICC committees and to external committees and working groups as required. The Nominating Committee is a standing committee and is comprised of the Past President and the Executive Director. All members of the Executive serve on the Resolutions Committee.

CONTRACTED EMPLOYEE

The Association contracts with UBCM for the provision of key services that support the Association. A staff person provides the key functions. The President is responsible for overseeing the regular activities of the Association and for providing direction to staff.

3. EXECUTIVE MEETINGS

The full Executive normally meets in person five times a year, following this pattern:

- During the last day of the annual Convention (less than 15 minutes)
- Mid June
- End of October
- Mid January
- Thursday before the Annual Convention

Executive meetings (other than those held in conjunction with the Convention) are generally held on a Friday or Saturday from 10:00 am to 3:00 pm and are typically held in Nanaimo. Online meetings usually occur 2-3 times per year on an as needed basis (60-90 minutes).

Travel expenses and a per diem are provided for Executive Meetings. For the meeting held on the Thursday before the Convention, reimbursement is only for the added expenses that would not normally be incurred for attending the annual Convention. AVICC does not provide Executive members with complimentary registration for the AGM and Convention.

From: [AVICC](#)
To: [AVICC](#)
Subject: AVICC Workshop Suggestions, Hotels for 2023 Convention
Date: Wednesday, November 9, 2022 4:00:03 PM
Attachments: [AVICC Session Submission Form 2023.docx](#)

[External]

Please forward to elected officials, the CAO and Corporate Officer:

Suggest a Workshop or Speaker

The 2023 AGM and Convention is being planned as an in-person event for April 14th-16th at the Vancouver Island Conference Centre in Nanaimo.

Is there a topic you'd like to hear about? Do you have a speaker you'd like to suggest? Send in your suggestions by completing the attached form, and submitting it by email to avicc@ubcm.ca. The AVICC Executive will review all the suggestions at our December meeting, so please send in your forms by **December 9, 2022**. We appreciate your input!

Hotels for 2022 Convention

AVICC has set up room blocks with three hotels located close to the conference centre for the convenience of our members, and details on how to book rooms through these blocks is available on the website for [2023 Accommodations in Nanaimo](#).

When planning your stay, please remember that pre-convention workshops and tours will be offered for those interested on the morning of Friday, April 14th, usually starting at 8:30 am. The official convention opening is at 2 pm on Friday, April 14th and finishes at noon on Sunday, April 16th. The AVICC banquet will be held on Saturday night. Please review the hotel cancellation policy for your hotel; generally, each reservation requires a one-night non-refundable deposit. The deposit would be waived in the event that the convention has to be cancelled due to COVID restrictions.

There is more information on other accommodation options and activities in Nanaimo available at [Tourism Nanaimo](#).



AVICC 2023 Convention
April 14-16, 2023
Vancouver Island Conference Centre
CALL FOR SUBMISSIONS

Thank you for your interest in participating in the 2023 AVICC Convention. It will be held Friday through Sunday, April 14-16, 2023 at the Vancouver Island Conference Centre in Nanaimo.

To submit a proposal fill in the information requested below and email this document back as a **word document** to avicc@ubcm.ca

The deadline for submissions is Thursday, December 9, 2022.

There are limited spots on the program including 45 to 60 minute plenary presentations, 60 minute concurrent workshops on Saturday afternoon, and two to three hour pre-convention workshops and study tours on Friday morning.

Delegates prefer sessions that involve multi-party perspectives and ones that are interactive rather than "talking heads".

Title of Session:	
Name of Organization:	
Contact Person Name:	
Phone:	
Address:	
Email:	

Session Description (for review of AVICC Executive Committee in choosing sessions. This information will also be used in program materials):	
Proposed Session Length:	
Preferred Time and Day:	
Audio Visual Requirements:	
Travel or other expenses if any:	
# of Proposed Presenters:	
Name - Presenter #1:	
Bio and Organization - Presenter #1:	
Name - Presenter #2:	
Bio and Organization - Presenter #2:	
Name - Presenter #3:	
Bio and Organization - Presenter #3:	
Name - Presenter #4:	
Bio and Organization - Presenter #4:	

Any other Information or requirements:	
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Successful applicants must confirm their session description, session title, and final list of presenters with AVICC by February 2, 2023 for inclusion in the program.

Changes to presenters or failure to meet this deadline may result in the session being cancelled.

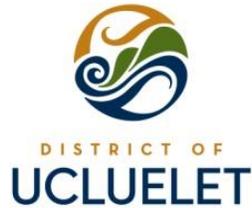
Presenters agree to submit all PowerPoint presentations by March 31st, 2023.

I agree to the above conditions and deadlines:

Signature: _____

Name: _____

Date: _____



INFORMATION REPORT

Council Meeting: November 29, 2022
500 Matterson Drive, Ucluelet, BC V0R 3A0

FROM: JOSEPH ROTENBERG MANAGER OF CORPORATE SERVICES

FILE NO: 0550-20

SUBJECT: RESOLUTION TRACKING – NOVEMBER 2022

REPORT NO: 22-167

ATTACHMENT(S): APPENDIX A - RESOLUTION TRACKER – NOVEMBER 2022

PURPOSE:

The purpose of this report is to provide Council with a status update on resolutions that have been adopted by Council.

BACKGROUND:

The resolution tracking report, attached, provides Council with an overview of actions resulting from resolutions of Council. Trackers are assigned to staff with the following progress designations:

- Assigned – action has not yet commenced;
- In Progress – action has been taken by Staff;
- Complete – action has been completed; and
- No Further Action – no further action on this matter will be taken by District Staff.

Items will be removed from the list after actions are shown once as complete or No Further Action.

Respectfully submitted: JOSEPH ROTENBERG, MANAGER OF CORPORATE SERVICES

Resolution Tracking - November 2022 Joseph Rotenberg, Manager of Corpora...

Resolution Date	Meeting Item Description	Resolution	Action	Department Responsible	Status	Comments/Actions
September 25, 2018	Lease with Ucluelet & Area Historical Society	THAT Council approve recommendation 1 of report item, "Lease with Ucluelet & Area Historical Society", which states: THAT Council enter into a lease agreement with the Ucluelet and Area Historical Society that is similar to their original Provincial Lease #111228 – Block A District Lot 1507, Clayoquot Land District for approximately 2.4 hectares	Meet with UAHS looking at options. UAHS to get back to Ms. Fortune to confirm the direction they would like to proceed	Parks & Recreation	No Further Action	Society has been issued proposed lease agreement. Staff awaiting response from society.
December 10, 2019		THAT Staff provide Council with options for rejuvenating the Frank Jones Memorial site.	Staff to provide Council with options for rejuvenating the Frank Jones Memorial site	Parks & Recreation	No Further Action	Differed for future consideration with future planning for tugwell park area.
January 14, 2020		THAT Staff work with Black Rock Oceanfront Resort & Spa to identify unique solutions for navigation to the resort	A.) Incorporate options for directional landmarks in designs for Peninsula Road B.) Staff to follow up with Black Rock to discuss options for appropriate directional signs	Planning	Complete	Black Rock to submit formal request for signage to be considered by Council.
June 23, 2020	District of Ucluelet Flood Mapping Project Bruce Greig, Manager of Community Services	THAT Council earmark the results of the flood mapping project for upcoming discussions in the Strategic Planning update and subsequent Budget preparations, for next steps to: update Emergency Preparedness plans; consider resiliency in long-term Asset Management planning; consider changes to development regulations, including a process for public consultation, as they relate to existing properties; and, consider new policy on future developments to avoid areas of flood risk.	Use report findings to update strategic planning, emergency preparedness plans, asset management planning, development regulations, policies related to development and subsequent budget preparation.	Administration	Complete	Flood mapping has been incorporated into developmetn application process and interim policy adopted by Council
July 14, 2020	Audio Visual Upgrades for the Main Hall	THAT Council approve using up to \$60,000 RMI funds for Audio Visual (AV) upgrades to the Main Hall at the Ucluelet Community Centre.	Implement AV upgrades.	Parks & Recreation	In Progress	Installation to be completed in Dec 2022
October 13, 2020	Revised Covenant and Option to Purchase - Lot 13 Marine Drive Bruce Greig, Manager of Community Planning	THAT Council indicate that the offer to provide funding in the amount of \$320,000.00 to support the servicing and infrastructure of the development to reduce the cost of units to qualifying households would remain valid until September 1, 2025, and would be payable upon the owner obtaining a final occupancy permit for the last of the 33 houses to be built on the proposed lots.	Pay funds to the developer if and when occupancy permits are issued.	Finance	No Further Action Required.	Long Term Project Subject to Developer performance.
December 15, 2020	Development of "The Cabins" Properties in the Reef Point Area John Towgood, Planner 1	THAT Council authorize the following: a. discharge of Statutory Right-of-Way EL10355 from the Cabins Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and, b. removal of section 3.a from Statutory Right-of-Way EL10354 from the Lodge and the Staff Housing Property, as defined in this report, at the time the subdivision is registered to redefine the parcel boundaries for the subject properties; and,	Refer Discharge and Amendment of SRWs to the subdivision process once application is received.	Planning	Complete	Discharge adnamendment of SRWs was processed.

Appendix A

Resolution Tracking - November 2022 Joseph Rotenberg, Manager of Corpora...

June 15, 2021	Resolution Tracking - May 2021 Paula Mason, Administration Clerk	THAT staff provide a report to Council with options for the investment of Barkley Community Forest Funds at an upcoming Council Meeting.	Staff to develop a legacy reserve fund as part of the statutory reserve policy	Finance	In Progress	Reserves Bylaw adopted, and legacy fund set up with zero balance. Policy for this fund under development as directed from CoW.
September 21, 2021	Dr. Carrie Marshall and Faye Missar, Coastal Family Resource Coalition Re: Harm Reduction	THAT Council direct Staff to bring back the alcohol harm reduction information to at a future meeting for Council discussion.	Draft report and bring back alcohol related information for Council discussion.	Recreation	Assigned	
October 26, 2021	Correspondence Regarding Bay Street Speed Controls and Crosswalk	THAT Council direct Staff to present a report regarding speed controls for consideration at a future meeting of Council.	Added to 2022 budget. Workplan in progress.	Public Works	In Progress	Nov-2: Preparing report for January which addresses district-wide traffic calming including Bay Street
December 14, 2021	Parking Concerns 1624 Bay Street James MacIntosh, Director, Engineering Services	THAT Council direct staff to relocate the pedestrian pathway and cross walk currently located on the west side of Bay Street to the east side of Bay Street.	Develop new routing plan; convey plan to affected residents and implement project.	Public Works	In Progress	Nov 2: Preparing report for Council in January which asks for alternate direction
February 22, 2022	Water Treatment System Upgrades James MacIntosh, Director of Engineering Services	THAT Council authorize Staff to issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,	5. Issue a Request for Proposal in 2022 for the Design-Bid-Build of the water treatment system project upon a successful Alternative Approval Process; and,	Public Works	In Progress	RFP is in development, awaiting completion of pre-project work and assesment - Nov 2022
February 22, 2022	Water Treatment System Upgrades James MacIntosh, Director of Engineering Services	THAT Council authorize Staff to complete pre-project work for the water treatment system project in an amount not to exceed \$300,000 funded through water reserves and the Investing in Canada Infrastructure Shared Cost Agreement.	6. Complete pre-project work for the water treatment system project in an amount not to exceed \$300,000 funded through water reserves and the Investing in Canada Infrastructure Shared Cost Agreement.	Public Works	In Progress	Work is underway - Nov 22

<p>March 29, 2022</p>	<p>2023 Larch Road Multi-Use Path Project - Grant Applications John Towgood, Municipal Planner</p>	<p>It was moved and seconded THAT Council, with regard to the 2023 Larch Road Multi-Use Path project, direct Staff to:</p> <p>Apply for both the Active Transportation Fund (Federal) and the BC Active Transportation (Provincial) grants.</p> <p>Prepare a letter of endorsement from the District of Ucluelet to the two granting agencies to highlight the following points:</p> <p>That creating a safe and welcoming environment for people on foot and on bicycles in Ucluelet's commercial core is of high importance to the community and its livability.</p> <p>That making this core area of Ucluelet's public realm more accessible is important to achieve the community's goal to be more inclusive and equitable.</p> <p>That the proposed works are critical to safely integrate the expected increase in cycling traffic from the new Pacific Rim National Park Reserve's ʔapsčiiik tašii multi-use pathway and the Peninsula Road Safety and Beautification project.</p> <p>That the improvements in the project area's pedestrian and cycling movement and the beautification of the project area would enhance the visitor and resident experience and support Ucluelet businesses.</p>	<p>Prepare letter of endorsement and apply for Active Transportation Fund & BC Active Transportation grants</p>	<p>Planning</p>	<p>Complete</p>	<p>Application has been submitted - BCATF grant indicates we may hear result in Feb 2023</p>
<p>March 29, 2022</p>	<p>Harbour Authority Request for Letter to address creosote pilings replacement Abby Fortune, Director of Parks & Recreation</p>	<p>It was moved and seconded THAT Council approve Option A, to write a letter to the Department of Fisheries (DFO), Small Craft Harbours, asking that they consider using materials other than creosote, when replacing pilings in the harbour.</p>	<p>Write & Forward letter to DFO</p>	<p>Recreation</p>	<p>Complete</p>	<p>The Harbour Manager is working with DFO to determine environmentally friendly options. An update will be presented for the Harbour Authority to consider.</p>
<p>March 29, 2022</p>	<p>Notice of Property Disposition Abby Fortune, Director of Parks & Recreation</p>	<p>It was moved and seconded THAT Council authorize staff to issue a public Notice of Proposed Property Disposition, in accordance with section 94 of the Community Charter, for a portion of Lot A, Plan VIP569363, District Lot 281, Land District 09 Except Plan VIP75072 and more commonly referred to as 500 Matterson Drive to the Ucluelet and Area Childcare Society, by way of lease for a term of five years from April 1, 2022, to March 31, 2027, in the amounts of \$23,653.83 in 2022 (pro-rated), \$32,169.21 in 2023, \$32,812.59 in 2024, \$33,468.84 in 2025, \$34,138.22 in 2026, and \$8,705.25 in 2027 (pro-rated) exclusive of tax and utilities; and further</p> <p>THAT Council direct staff to execute the lease agreement accordingly.</p>	<p>Publish Public Notice Execute Lease Agreement</p>	<p>Recreation</p>	<p>Completed</p>	<p>Lease agreement signed and filed</p>
<p>April 19, 2022</p>	<p>Update on Village Green: Main & Cedar Intersection Bruce Grieg, Director of Community Planning</p>	<p>It was moved and seconded THAT Council direct staff to explore costs for adding parking stalls within the current extents of the Cedar Road Parking Hub, for consideration in the 2023 budget.</p>	<p>Explore costs for exploring the addition of parking stalls within the Cedar Hub Parking Hub, for consideration in the 2023 budget.</p>	<p>Public Works</p>	<p>In progress</p>	<p>Nov 2: Under investigation, project funding to be considered in the 2023 budget.</p>

Appendix A

Resolution Tracking - November 2022 Joseph Rotenberg, Manager of Corpora...

April 19, 2022	Notes from meeting of Ucluelet Concerned citizens - March 21, 2022 Patricia Sieber, Ucluelet Concerned Citizens group	No motion made - direction given from Council during Correspondence Items section	Add more Notice Boards in town (Community Centre / Municipal Building / Post Office). Inquire as to the use of the digital sign outside the high school.	Administration	No Further Action	The digital sign board at the highschool is out of commission as will not be replaced.- SM
April 19, 2022	Notes from meeting of Ucluelet Concerned citizens - March 21, 2022 Patricia Sieber, Ucluelet Concerned Citizens group	No motion made - direction given from Council during Correspondence Items section	Mount more informational boards in the area of the Village Green project.	Administration	Complete	Notice boards are located in Village green.
April 19, 2022	Traffic Calming Next Steps James MacIntosh, Director of Engineering		Prepare a draft traffic calming policy	Public Works	In Progress	Nov-2: Preparing report for January which addresses district-wide traffic calming including Bay Street
April 19, 2022	Randy Oliwa, Pacific Rim Home Development Cooperative (PRHDC) Re: Non-Market Housing Project	It was moved and seconded THAT Council direct staff to prepare a report regarding the Pacific Rim Home Development Cooperative's initiative to a future meeting of Council for their review.	Prepare a report regarding the Pacific Rim Home Development Cooperative's initiative	Planning	In Progress	report from Sept. 21, 2021, reviewed potential sites; staff met with represetatives of PRHDC. Report on options to future Council / CoW mtg.
April 26, 2022	Jeff Anderson, Rotary Club of Ucluelet Re: Frisbee Golf Course Development	It was moved and carried THAT Council direct staff to prepare a report on the development of a Frisbee Golf Course in Ucluelet, specifically using the land behind the water tower for the course, for council's consideration.	Prepare a report on the development of a Frisbee Golf Course in Ucluelet, specifically using the land behind the water tower for the course, for council's consideration.	Parks & Recreation	In progress	In Progress archiological and environmental assessments currently underway
May 2022	Strategic Priorities Fund Capital Infrastructure Grant Application	THAT Council provides up to \$1.5M towards the Firehall Project. It was also moved and seconded THAT Council direct staff to include funding to undertake a fire services review for consideration within the 2023 budget.	Grant application was submitted as of June 30, 2022. Include funding to undertake a fire services review for consideration within the 2023 budget. Fire Service review will be allocyted in te 2023 Fire & Emergency Services budget.	Fire & Emergency Services / Finance	In Progress	Funding will be include in the 2023 budget.
10 May 2022	Strategic Priorities Fund Capital Infrastructure Grant Application	It was moved and seconded THAT Council approves Option A, to approve a grant application for the development of a replacement regional fire hall through the 2022 Strategic Priorities Fund Capital Investment Grant program to a maximum of \$7.5M; and THAT Council provides overall grant management;	Grant application was submitted as of June 30, 2022. Include funding to undertake a fire services review for consideration within the 2023 budget. Fire Service review will be allocyted in te 2023 Fire & Emergency Services budget.	Fire & Emergency Services / Finance	Complete	Grant application was signed and submitted
31 May 2022	Tribal Guardian Program - Kennedy Back Road System	It was moved and seconded THAT Council direct staff to reallocate \$20,000 designated for the relocation of the Tourism Ucluelet office to the District of Ucluelet Grants in Aid program; and It was moved and seconded THAT Council authorize a \$20,000 Grant in Aid to the Tla-o-qui-aht First Nations Tribal Park Guardian program for the oversight of dispersed camping.	Reallocate \$20,000 designated for the relocation of the Tourism Ucluelet office to the District of Ucluelet Grants in Aid program. Authorize a \$20,000 Grant in Aid to the Tla-o-qui-aht First Nations Tribal Park Guardian program.	Finance	In Progress	Assigned - awaiting invoice

May 2022	Affordable Housing	It was moved and seconded THAT the Committee of the Whole recommend Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report. It was moved and seconded THAT Council authorize the Mayor to execute a Memorandum of Understanding in support of the development of a regional governance framework for coordinating and sharing resources to address affordable housing on the West Coast peninsula as presented in the May 31, 2022 Affordable Housing report.	Mayor to execute the MOU.	Administration	Assigned	Reviewing MOU
May 2022	Affordable Housing	It was moved and seconded THAT Council direct staff to continue to investigate: the purchase of land to be dedicated to affordable housing projects; and the use of affordable housing partnership development agreements; and reducing development cost charges for affordable housing developments.	Continue to investigate the purchase of land to be dedicated to affordable housing projects; and the use of affordable housing partnership development agreements; and reducing development cost charges for affordable housing developments. Execute a Memorandum of Understanding	Administration	Complete	Investigation of purchasing of affordable housing lands has been included in the affordable housing strategy.
May 2022	Affordable Housing	It was moved and seconded THAT Council direct staff to issue a request for proposal to engage a housing authority. It was moved and seconded THAT the Committee of the Whole recommend that Council direct staff to issue a request for proposal to engage a housing authority.	Issue a request for proposal to engage a housing authority.	Administration	Deferred	RFP will be actioned 10-14 months prior to affordable housing units coming on line. No immediate action required as there are no affordable units under the pervue of the DoU at this time.
31 May 2022	Contractor's Temporary Land Use	It was moved and seconded THAT Council approve Option A, to authorize the use of District-owned land to temporarily house contractors while working on District capital projects; and It was moved and seconded THAT Council direct Staff to return to Council with the details and planning necessary to administer temporary contractor	Return to Council with the details and planning necessary to administer temporary contractor housing.	Public Works	In Progress	In progress. Autumn update Nov 2: In progress
14 Jun 2022	Trail Right of Way over 348 Pass of Melfort	It was moved and seconded THAT Council, for the purposes of creating a public pathway over 348 Pass of Melfort, Strata Lot 10, Plan VIS5896, Section 1, Barclay Land District: 1. Direct District of Ucluelet staff to execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. 2. Direct District of Ucluelet staff to coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. It was moved and seconded THAT	Execute and register the S.218 Statutory Right of Way attached as Appendix A of staff report 22-78. Coordinate the environmental and estimating work required so that a public pathway over 348 Pass of Melfort and relocated elements of the Wild Pacific Trail can be considered and prioritized in future budgeting process. Forward a letter of appreciation to the property owners and include some form of tribute to them in the trail construction.	Planning	In Progress	- awaiting confirmation of SRW registration.
29-Jun-22	Zoning Amendment Bylaw No. 1309 – 604 Rainforest Drive	It was moved and seconded THAT Council give third reading to District of Ucluelet Zoning Amendment Bylaw No. 1309, 2022, to facilitate the proposed mixed-use development on the property at 604 Rainforest Drive including health care office and resort condominiums.	Bring back Bylaw 1309 for Council to consider adoption.	Planning	Complete	Bylaw was adopted

Appendix A

Resolution 2022-09-10
 Planning - November 2022
 Joseph Rotenberg, Manager of Corpora...

08-Jun-22	Zoning Amendment Bylaw No. 1312, 2022 – 221 Minato Road	It was moved and seconded THAT Council give third reading to District of Ucluelet Zoning Amendment Bylaw No. 1312, 2022 to facilitate the proposed housing development on the property at 221 Minato Road.	Bring back Bylaw 1312 for Council to consider adoption.	Planning	In Progress	- covenant underway
08-Jul-22	Contract Authorization for Storm Drain and Sanitary Sewer Upgrades	THAT Council approve Option A, to authorize the Mayor and Corporate Officer to execute a contract to Vike Construction Ltd. for a total of \$443,100 (plus G.S.T.) for the supply of all materials, labor, and equipment to install Peninsula Road storm and sanitary sewer upgrades between Matterson and Otter Street.	Coordinate execution of the agreement.	Administration/Engineering	Complete	Contract executed
08-Aug-22	West Coast Multiplex Memorandum of Understanding	THAT Council direct staff to advise the West Coast Multiplex Society that Ucluelet may consider signing an updated memorandum of understanding upon renewed stakeholder consultation in the determination of regional recreation priorities and affirmation of local and regional support for a multiplex facility.	Write to West Coast Multiplex Society to communicate this resolution.	Administration	Complete	WCMPS has been notified of Council decision.
08-Aug-22	Temporary Use Permit - 1187 Peninsula Road	THAT Council, subject to public comment, authorize the Director of Community Planning to execute and issue Temporary Use Permit 22-08 to allow one seasonal Recreational Vehicle for an employee of Little Beach Resort at 1187 Peninsula Road for a period of three years.	Issue TUP 22-08	Planning	In Progress	Letter to UFN government has be issued.
09-Aug-22	Temporary Use Permit - 1604 Peninsula Road	1. THAT Council, with regard to the proposed change of use at 1604 Peninsula Road, subject to public comment, authorize the Director of Community Planning to execute and issue Temporary Use Permit 22-09 to allow the operation of a Daycare Facility at 1604 Peninsula Road for a period of three years;	Issue TUP 22-09	Planning	Complete	TUP executed
09-Aug-22	Temporary Use Permit - 1604 Peninsula Road	2. THAT Council direct staff to prepare a letter for the Mayor's signature, requesting guidance from the Yuułu?if?ath Government on their preference for the long-term location of the canoe log which is currently on loan to the District of Ucluelet and located at 1604 Peninsula Road, and expressing the District's support for working together on its appropriate care and relocation.	Prepare letter for Mayor's signature.	Administration	Complete	Letter to UFN government has be issued.
16-Aug-22	Fireworks Regulation Bylaw 1302, 2022	THAT Council approves the Fireworks Fines & Penalties as presented in staff report No. 22-113 and directs staff to present an amendment to Municipal Ticket Information System Bylaw No. 949, 2004 to include these fines and penalties.	Draft MTI amendment bylaw and bringforward for Council review.	Administration	Assigned	These updates will be introduced in 2023
06-Sep-22	Fees and Charges Amendment Bylaw - Adoption Donna Monteith, Chief Financial Officer	It was moved and seconded THAT Council adopt District of Ucluelet Fees and Charges Amendment Bylaw No. 1316, 2022.	Consolidate amendments.	Administration	Assigned	Consolidation will occur in 2023
20-Sep-22	Contract Authorization - Amphitrite House Construction James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council authorize the Mayor and the Corporate Officer to execute a \$1,000,000 contract between the District of Ucluelet and Saltwater Building Co for the supply of materials and labour to reconstruct the Amphitrite house and grounds.	Obtain signatures and file contract.	Administration	Assigned	Contract is under review in preperation for execution.
20-Sep-22	Environmental Development Permit for 1251 Sunset Point Road Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-06 for the property at 1251 Sunset Point Road to allow the construction of a single-family dwelling on a lot designated within a Marine Shoreline development permit area.	Issue DP22-06.	Planning	Complete	EDP executed

Appendix A

Resolution Tracking
 06-Sep-22
 06-Oct-22
 06-Oct-22

06-Sep-22	Environmental Development Permit for 772 Marine Drive Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Environmental Development Permit DP22-07 for the property at 772 Marine Drive to allow the construction of a single-family dwelling on a lot designated as Terrestrial and Riparian development permit areas.	Issue DP22-07.	Planning	Complete	EDP executed
06-Oct-22	Contract Authorization - Village Green Construction James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council authorize the Mayor and Corporate Officer to execute a \$1,138,000 contract between the District of Ucluelet and Hazelwood Construction Services Inc. for the supply of all materials and labour to construct the Village Green Revitalization Project.	Sign and file contract.	Administration/Public Works	Assigned	
06-Oct-22	Contract Authorization - Village Green Construction James MacIntosh, Director of Engineering Services	It was moved and seconded THAT Council authorize the Director of Finance to reallocated \$150,000 within the 2023 Resort Development Strategy to the Village Green Revitalization Project.	Reallocate funds.	Finance	Assigned	Reallocation will be include in 2023 budget
06-Oct-22	Development Permit for Food Truck Cluster at 1708 Peninsula Road Monica Whitney-Brown, Assistant Planner	It was moved and seconded THAT Council approve the issuance of a mobile vending business license for the "Big Wave Café" food trailer at 1708 Peninsula Road.	Issue Business License.	Finance	No Further Action	Application Abandoned by vendor Nov/22.
06-Oct-22	Development Permit for Food Truck Cluster at 1708 Peninsula Road Monica Whitney-Brown, Assistant Planner	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Permit 22-08 to allow a total of three mobile vending spaces to be operated at 1708 Peninsula Road, Lot 1, Plan VIP5190, Clayoquot District.	Execute and issue DP 22-08.	Planning	Complete	Permit issued
06-Oct-22	Development Permit for a Resort Condo Development at 1003 Peninsula Road John Towgood, Municipal Planner	It was moved and seconded THAT with regard to the proposed Resort Condo development at 1003 Peninsula Road (Lot 6 Section 21 Clayoquot District Plan VIP67274; PID 024-167-533) any trail building in environmentally sensitive areas be overseen by a Qualified Environmental Professional.	Communicate this requirement to the applicant.	Planning	Complete	
06-Oct-22	Development Permit for a Resort Condo Development at 1003 Peninsula Road John Towgood, Municipal Planner	It was moved and seconded THAT Council, with regard to the proposed Resort Condo development at 1003 Peninsula Road (Lot 6 Section 21 Clayoquot District Plan VIP67274; PID 024-167-533) approve the issuance of Development Permit 22-05 for three Duplex Resort Condo development and associated landscape.	Issue DP 22-05.	Planning	Complete	Permit issued
06-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council direct Staff to take the necessary steps to file the Ucluelet Economic Development Corporation Notice of Change of Address, 2021 Annual Report and 2022 Annual Report with BC Registries and Online Services, attached to this report as Appendix A, C, and G, respectively.	File reports.	Administration	Complete	Reports have been filed
06-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council approve the two Ucluelet Economic Development Corporation Director's Resolutions with the effective date June 29, 2022, attached to this report as Appendix I.	Sign and forward the resolution.	Administration	Complete	Resolutions signed and forwarded
06-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council approve the Ucluelet Economic Development Corporation Shareholders' resolution with the effective date June 29, 2022, attached to this report as Appendix H.	Sign and forward the resolution.	Administration	Complete	Resolutions signed and forwarded
06-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council approve the two Ucluelet Economic Development Corporation Director's Resolutions with the effective date June 29, 2021, attached to this report as Appendix E.	Sign and forward the resolution.	Administration	Complete	Resolutions signed and forwarded

Appendix A

Resolution Tracking - November 2022 Joseph Rotenberg, Manager of Corporate Services

01-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council approve the Ucluelet Economic Development Corporation Shareholders' Resolution with the effective date June 29, 2021, attached to this report as Appendix D.	Sign and forward the resolution.	Administration	Complete	Resolutions signed and forwarded
01-Oct-22	Ucluelet Economic Development Corporation - Annual Reports Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council approve the Ucluelet Economic Development Corporation Director's Resolution with the effective date of September 14, 2022 and attached as Appendix B.	Sign, forward resolutions.	Administration	Complete	Resolutions signed and forwarded
01-Oct-22	Permissive Tax Exemption Bylaw No. 1318, 2022 Donna Monteith, Chief Financial Officer	It was moved and seconded THAT Council adopt District of Ucluelet Permissive Tax Exemption Bylaw No. 1318, 2022.	Print, sign and file bylaw.	Administration	Complete	Bylaw adopted
01-Oct-22	September 20, 2022, Regular Council Minutes	It was moved and seconded THAT Council adopt the September 20, 2022, Regular Council Minutes as amended.	Amend, sign, print, and post minutes.	Administration	Complete	
01-Oct-22	September 6, 2022, Special Council Minutes	It was moved and seconded THAT Council adopt the September 6, 2022, Special Council Minutes as presented.	Print, sign and post minutes.	Administration	Complete	
01-Nov-22	Council Schedule Review & Acting Mayor Schedule Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council appoint Councillor Jennifer Hoar as Acting Mayor for the period November 1, 2022, to December 31, 2022.	Update agenda format to reflect Acting Mayor appointment.	Administration	Complete	Agenda updated
01-Nov-22	Council Appointments & Signing Authorities Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council rescind former Mayor Mayco Noël's appointment as authorized signatory for the District of Ucluelet and appoint Mayor Marilyn McEwen, Councillor Jennifer Hoar, Chief Administrative Officer Duane Lawrence, and Chief Financial Officer Donna Monteith as the District of Ucluelet's authorized signatories.	Send certified resolution to Finance Department.	Administration	Complete	Resolution issued
01-Nov-22	Council Appointments & Signing Authorities Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council appoint Councillor Jennifer Hoar as Trustee to the Vancouver Island Library Board and Councillor Shawn Anderson as the Alternate Trustee.	Forward paperwork and certified resolution to VIRL.	Administration	Complete	Resolution issued
01-Nov-22	Council Appointments & Signing Authorities Joseph Rotenberg, Manager of Corporate Services	It was moved and seconded THAT Council appoint Mayor Marilyn McEwen to the Alberni-Clayoquot Regional District Board of Directors and Councillor Mark Maffei as the Alternate Director for a period from November 1, 2022, to December 31, 2023.	Send certified resolution to ACRD and file.	Administration	Complete	Resolution issued
15-Nov-22	The Moorage Street Parking Signage and Enforcement Christine Brice, Strata Manager Ardent Properties INC.	It was moved and seconded THAT Staff provide a report about options for Ardent Properties .	Draft and present report regarding options to address issues identified in Ardent Properties' letter related to the Moorage Property, dated November 2, 2022.	Public Works	Assigned	Report will be prepared for January Council - JM Nov 22
15-Nov-22	BC Active Transportation Grant Funding Request Donna Monteith, Chief Financial Officer	It was moved and seconded: THAT Council approve the BC Active Transportation Infrastructure grant application for the 2023 Larch Road Multi Use Path project, by contributing a maximum of \$198,750; and THAT Council shall provide overall grant management.	Draft and sign certified resolution. Resolution forwarded to support grant application.	Finance	Complete	Resolution issued
15-Nov-22	Environmental Development Permit For 384 Marine Drive Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council authorize the Director of Community Planning to execute and issue Development Permit DP22-12 for the property at 384 Marine Drive to allow subdivision and construction of a single-family dwelling on a lot within a Marine Shoreline and Riparian Development permit area.	Issue DP22-12.	Planning	Complete	Permit issued

Resolution Tracking
November 2022
Joseph Rotenberg, Manager of Community Planning

11-Nov-22	Business License for Mobile Vendor at 1708 Peninsula Road Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council approve the issuance of a mobile vending business license for Nuglife Food Truck to be operated at 1708 Peninsula Road, Lot 1, Plan VIP5190, Clayoquot District, subject to the conditions in Appendix A, attached to staff report No. 22-152.	Direct the Licence Inspector to process mobile business license for Nuglife Food Truck.	Planning	Complete	Licence Issued
15-Nov-22	Zoning Amendment and Development Permit For 1683 Larch Road John Towgood, Municipal Planner	It was moved and seconded THAT Council, with regard to the proposed development at 1683 Larch Road: 1. Give first and second reading to District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022; and, 2. Direct staff to give notice for a public hearing to be held on District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022 and Development Variance Permit 22-07.	Give notice and conduct public hearing and public input opportunity for Bylaw 1319, 2022 and Development Variance Permit 22-07, respectively.	Planning	In Progress	
19-Nov-22	Zoning Amendment and Development Permit For 1683 Larch Road John Towgood, Municipal Planner	It was moved and seconded THAT Council, with regard to the proposed development at 1683 Larch Road: 1. Give first and second reading to District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022; and, 2. Direct staff to give notice for a public hearing to be held on District of Ucluelet Zoning Amendment Bylaw No. 1319, 2022 and Development Variance Permit 22-07.	Update readings on Bylaw	Administration	Complete	
19-Nov-22	Zoning Amendment Bylaw No. 1309 – 604 Rainforest Drive Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1309, 2022 and authorize the Director of Community Planning to execute and issue Development Permit 22-04.	Issue Development Permit 22-04	Planning	Complete	Permit issued
19-Nov-22	Zoning Amendment Bylaw No. 1309 – 604 Rainforest Drive Bruce Greig, Director of Community Planning	It was moved and seconded THAT Council adopt District of Ucluelet Zoning Amendment Bylaw No. 1309, 2022 and authorize the Director of Community Planning to execute and issue Development Permit 22-04.	Print, sign and file Bylaw 1309, 2022.	Administration	In Progress	Awaiting signature
19-Nov-22	Zoning Amendment For 327 Pass Of Melfort Monica Whitney-Brown, Planning Assistant	3. It was moved and seconded THAT Council direct staff to give notice for a public hearing to be held on District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022.	Give notice and hold public hearing for Bylaw No. 1320, 2022.	Planning	In Progress	
15-Nov-22	Zoning Amendment For 327 Pass Of Melfort Monica Whitney-Brown, Planning Assistant	2. It was moved and seconded THAT Council give first and second reading to District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022 as amended.	Update bylaw to reflect readings.	Administration	Complete	Bylaw Updated
15-Nov-22	Zoning Amendment For 327 Pass Of Melfort Monica Whitney-Brown, Planning Assistant	It was moved and seconded THAT Council, with regard to the proposed development at 327 Pass of Melfort Place: 1. Replace text amendment 1. A in draft District of Ucluelet Zoning Amendment Bylaw No. 1320, 2022, with the following: “A. Removing Lot 20 from section R-4.3.2 (1) so that this section reads as follows: (1) 0.35 for lands legally described as Strata Lots 2, 4-9, 13-15, 18, 22, 24 and 25, all of Section 1, Barclay District, Strata Plan VIS5896.”	Update bylaw to reflect amendment.	Planning	Complete	Bylaw Updated
15-Nov-22	Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004 Abby Fortune, Director of Parks and Recreation	It was moved and seconded THAT Council direct staff to present an amendment to the District of Ucluelet Garbage Collection and Regulation Bylaw No. 960, 2004, to be considered at a future Council meeting, which allows for Bear Resistant Collection Carts to be stored outside provided that the container is anchored to prevent tipping or being dragged away by an adult bear.	Draft and present amendments to Bylaw No. 960, 2004 to allow for outdoor storage of garbage carts provided they are anchored.	Recreation	In Progress	Bylaw being prepared

Appendix A

Nov-22	Cemetery Bylaw No. 1206 Amendment Abby Fortune, Director of Parks and Recreation	It was moved and seconded THAT Council direct staff to present amendments to District of Ucluelet Cemetery Management Bylaw No. 1206, 2016 to allow non-conforming grave site installations in the lower section of the cemetery.	Draft and present amendment to Bylaw 1206, 2022 to allow non-conforming grave site installation in the lower section of the cemetery.	Recreation	In Progress	Bylaw being prepared
Nov-22	October 6, 2022 Regular Minutes	It was moved and seconded THAT the October 6, 2022 Regular Minutes be adopted as amended.	Update minutes, print, sign upload and file minutes.	Administration	In Progress	Awaiting signature

From: [Yeung, Karen EHS:EX](#)
To: [Duane Lawrence](#)
Subject: A welcome from BCEHS
Date: November 15, 2022 9:26:24 AM
Attachments: [image001.png](#)

[External]

The following is sent on behalf of BC Emergency Health Services Chief Operating Officer Neil Lilley

November 15, 2022

District of Ucluelet

Duane Lawrence, Chief Administrative Officer

Via e-mail: dlawrence@ucluelet.ca

To Her Worship Marilyn McEwen, Mayor of the District of Ucluelet

Congratulations on your new role as Mayor. We are pleased to welcome you into this new role and we look forward to connecting in the future.

As you may know, BC Emergency Health Services (BCEHS) is one of the largest paramedic and ambulance services in North America. We provide care to all people in British Columbia as part of the Provincial Health Services Authority (PHSA). We respond urgently to emergency situations across the province, support the movement of patients between care facilities, and provide proactive care for patients with chronic health conditions in rural and remote communities.

We do all this at a time when call volumes in BC continue to rise. BCEHS averages over 1,500 events every single day. Overdoses from toxic drug supplies contribute to that rising trend, placing increasing pressure on our services. Last year, overdose calls were up 29 per cent compared to the year before; 37,144 events compared to 28,747 in the previous period. BCEHS is continuing to recruit and train additional paramedics, call takers and dispatchers to help address this sustained increase in volume.

With more than 840 new positions recently added, we have been undertaking the biggest hiring push in our history. BCEHS always considers qualified internal candidates before recruiting externally, and filled many positions posted in 2021 with internal applicants. But, with so many new positions available and many roles still unfilled, we are running a nationwide recruitment campaign to bring more paramedics and dispatch staff to B.C. Continuing these recruitment efforts and filling all open positions is a top priority for BCEHS going forward.

We are also working to stabilize staffing in rural and remote communities. We are doing this by:

- Adding permanent, regular positions with guaranteed wages and full health benefits for the first time in many rural and remote communities
- Expanding community paramedicine positions (where community paramedics are attached to a station) to further support people with chronic illness and augment local health

initiatives

- Introducing fatigue management measures to protect the health and safety of paramedics
- Introducing permanent unit chief positions at every station across the province for the first time to provide better support for frontline staff

We have trialed different staffing models and continue to offer a variety of incentives in an effort to help ensure reliable emergency coverage for the 5.2 million residents we serve across almost one-million square kilometres. We are listening to our staff and community leaders about what is working and what is not working with our services. We continue to work with both the provincial government, and APBC/CUPE 873, the union representing our paramedics and dispatchers, on enhancements to our operations, coverage, and services.

Please feel free to reach out to myself or your District Director or local BCEHS Clinical Operations Manager if you have any specific questions about the ambulance service in your community. As a team they oversee paramedic crews and stations in your area and would be happy to meet with you at your convenience.

Your District Director:

Heather Edward Heather.Edward@bcehs.ca

-

Your Clinical Operations Manager(s):

Kaoru Bracewell Kaoru.Bracewell@bcehs.ca

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Sincerely,

Neil Lilley
Chief Operating Officer
BC Emergency Health Services

Logo Description automatically generated

